

GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
 - Maintain a minimum of 10-foot horizontal separation between all water lines (mains, services, and fire hydrants) and all sanitary sewer lines (mains, services, and manholes). All separation distances are to be measured from edge-to-edge, at the closest point.
 - Maintain a minimum of 2-foot vertical separation between all water lines (mains and services) and all gravity sanitary sewer lines (mains, services, and manholes) at crossings. All separation distances are to be measured from edge-to-edge, at the closest point.
 - Maintain a minimum of 2-foot vertical separation between all water lines (mains and services) and all pressurized sanitary sewer lines (force mains and services) at crossings. Waterlines must always be placed above pressurized sanitary sewer lines where they cross. All separation distances are to be measured from edge-to-edge, at the closest point.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

AT&T	1-800-246-8464
Black Hills Energy	1-800-694-8989
City of Wichita Water & Sewer	1-316-219-8921
City of Wichita Stormwater	1-316-268-4090
City of Wichita Traffic	1-316-268-4034
Cox Communications	1-888-249-3530
Kansas Gas Service	1-888-482-4950
Evergny	1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades by the contractor.
- The Contractor shall notify the consultant engineer and Dawnita Reinhardt at 316-650-0740 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.

- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractor's responsibility.
- All elevations shown are NAVD88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions per City specifications.
- All applicable fees (tap, equity, in lieu of & main benefit) must be paid before any work on this project can commence. Quotes can be obtained on fees by calling 316-268-4555.
- Opening and closing of water valves shall be done slowly to prevent damage to the water distribution system from water hammer. All valves closed by the contractor must be reopened as new construction permits. The project inspector must ascertain that any valve closed by the Contractor is reopened. The contractor will be permitted to operate water valves only when the project inspector assigned to the project is present.
- The Contractor shall lay a Tracer Wire and Set Test Stations along all water pipe installed in accordance with City Specifications and Tracer Wire Detail on detail sheet WL-101, cost is subsidiary to pipe installation.
- The contractor shall provide materials for temporary blowoff of waterlines. Connections to the existing waterline(s) shall be made with clean, swabbed pipe and flushed upon completion of tie-ins.
- Requests for short term water interruptions shall be made to the City Water Distribution Division and will be subject to their approval. The Contractor shall give written notice to any property owner, business, and/or tenants that will have water service interrupted at least 5 days in advance. Such notifications should indicate the time and date that the water will be turned off and when the service will be restored. No business, property owner, and/or tenants shall be without water service for more than 8 hours. Proposed tie in locations which will affect water service to property owners shall be performed during non-peak hours.
- The Contractor must schedule the connections to the existing main with the City such that there is a minimum disruption of service. Connections shall be made during periods of low water usage. The Contractor shall submit his proposed schedule for completing work for City approval at least 10 days prior to beginning construction.
- Deflections at pipe joint or couplings shall not exceed the pipe manufacturers recommended maximum. Where deflections are greater than the maximum allowed, the contractor shall utilize fittings.
- Any existing joint exposed during excavation shall be replaced if within four feet of proposed joint.
- Valves 12 inches and larger are to be operated by the City Water Distribution Division, 48 hours of advance notice is required.
- All wet taps shall be installed by the City of Wichita. The Contractor will reimburse the City for tapping fees prior to tap being made. Unless noted on plans.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractor's expense.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- Wichita Fire Department inspections may be scheduled by calling Dawnita Reinhardt at 316-650-0740.
- All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor and until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMPs".
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.

- All areas disturbed during construction are to be seeded as follows:

Seed -- Rye grass; 5 lbs./1000 Sq. Ft.

All costs associated with seeding including mobilization, preparation of ground, seeding, fertilizing, mulching, etc. shall be included in the L.S. bid item "Seeding".
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.

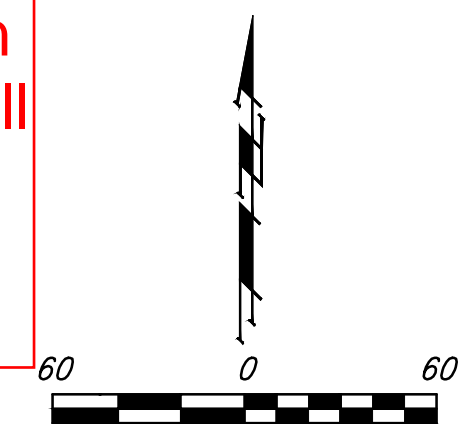
Benchmarks

- BM #1:** "□" Chiseled on Top of Concrete ~22' west and 7' north of the SW corner of Lot 4, Block A, Fossil Rim Comm. Add. Elev. = 1367.97 (NAVD88)
- BM #2:** "□" Chiseled on Top of Curb ~280' east and ~35' south of the intersection of Tyler Rd. and 29th St. N. Elev. = 1363.98 (NAVD88)
- BM #3:** "□" Chiseled on Top of Curb ~90' east and ~35' south of the intersection of Tyler Rd. and 29th St. N. Elev. = 1362.99 (NAVD88)

ACCEPTED 12-15-2023

Utility Contractor: Dutton Construction
 General Contractor: Accel Construction
 Inspector: Beau Gibler and Larry Powell
 As-Builts By: Beau Gibler & Larry Powell.
 Date: 12-12-2023.

54030980



AS-BUILT PLANS

WATER DISTRIBUTION SYSTEM

to serve

LOT 4, BLOCK A, FOSSIL RIM COMM. ADDITION

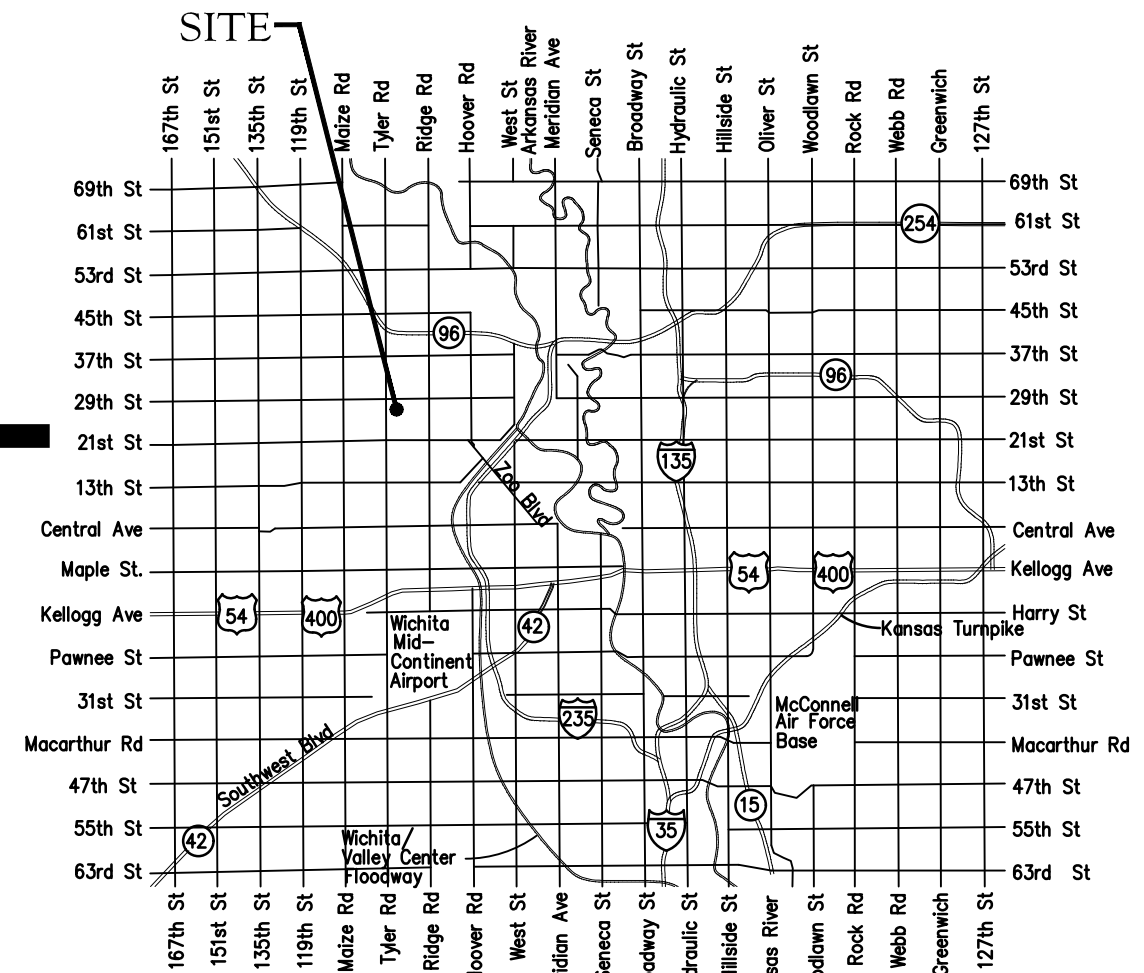
8649 W. 29TH ST. N.

CITY OF WICHITA, KANSAS

Paul Gunzelman, P.E. Interim City Engineer

2023-015062PPW

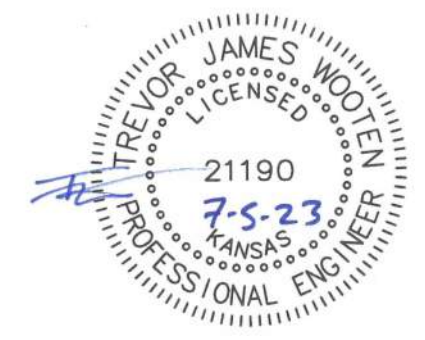
Begin: 09-18-23
 End: 12-08-23



Vicinity Map

Sheet Index

Title Sheet	1
Line 1	2
Erosion Control/Grading Plan	3
Std. Water Assembly Detail	4
Miscellaneous Water Details	5
Erosion Control BMP Details	6-10
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APPROVED AS NOTED
 BY WICHITA PUBLIC WORKS
 ENGINEERING DIVISION
 & BY WICHITA FIRE DEPARTMENT

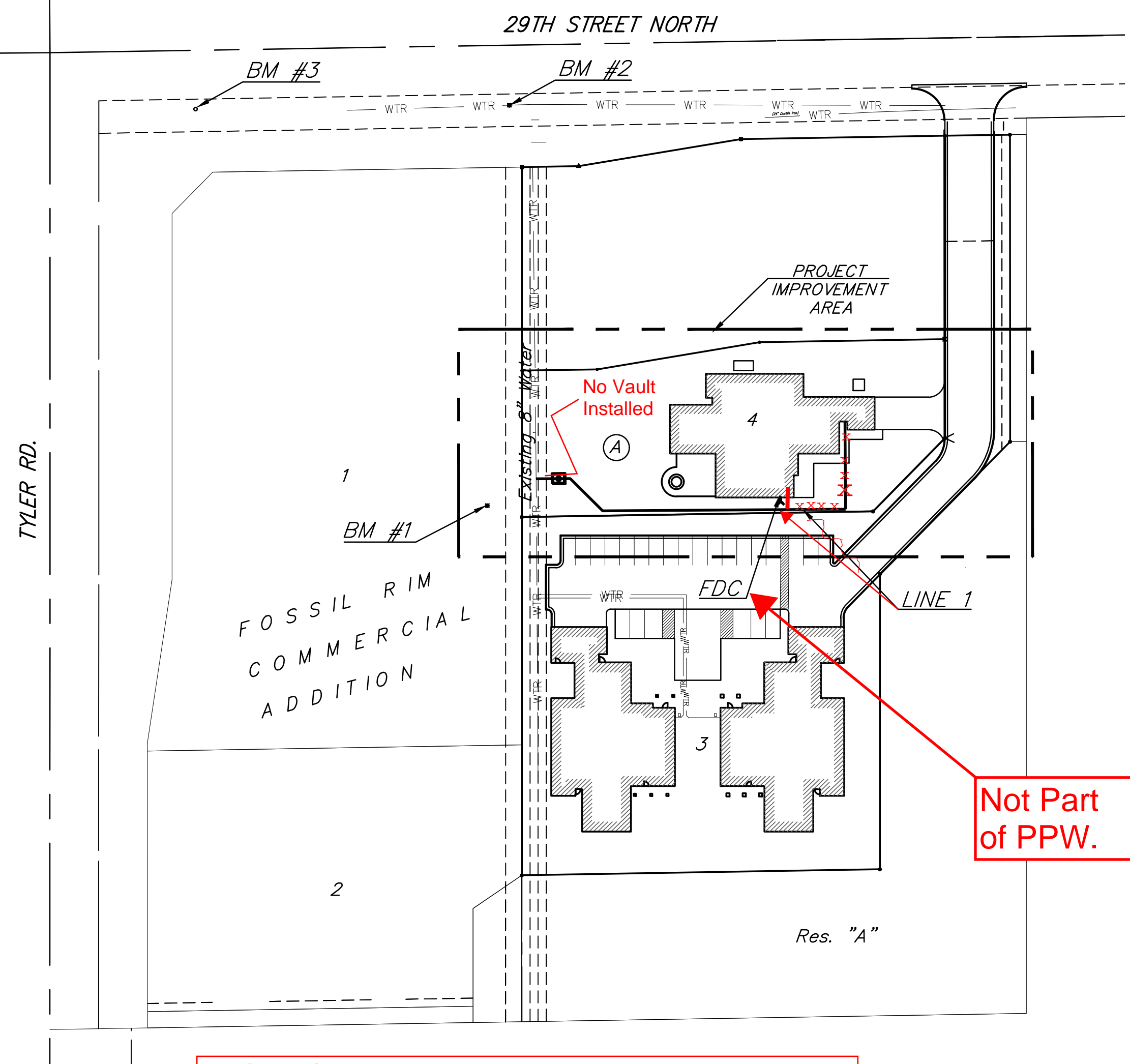
Engineering approved by Shawn Mellies on 07.06.23
 Utilities approved by Greg Lolley on 07.06.23
 Fire Dept. approved by Jose Ocadiz on 07.06.23

NOTE TO CONTRACTORS

Public Property:
 Inspection and testing for the waterline is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection is to be in accordance with the City of Wichita standard construction engineering practices and certified by a Professional Engineer Licensed in the state of Kansas. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the City of Wichita Specifications and Standards and Special Provisions (on file and available in the City Engineer's Office) or on the City's Website.

Private Property:
 Installation and testing for the fire protection line is to be performed by a City of Wichita licensed fire protection contractor in accordance with the fire codes as adopted by the City of Wichita. All material and construction practices for the fire protection line shall comply with the fire codes as adopted by the City of Wichita (available from the City of Wichita Fire Department). The Contractor shall not commence work without notification and approval of the Wichita Fire Department. Inspection of the fire protection line is to be provided by a licensed Engineering Firm under contract with the Owner/Developer and the Fire Department. The contractor shall not start work until the project inspector is assigned to the project and present on the site. Any work done without inspection will be required to be uncovered for inspection.

An approved copy of these plans signed by City staff are required on-site.



2" CPVC Pipe = BlazeMaster, 170 If
 1 - 2" Service Outlet Assembly (Curb Stop).

BAUGHMAN JOB# 23-09-E609

BAUGHMAN COMPANY
 315 Ellis St. Wichita, KS 67211 316-262-7271
 BaughmanCo.com

BENCHMARKS:
 BM #1: "□" Chiseled on Top of Concrete ~22' west and 7' north of the SW corner of Lot 4, Block A, Fossil Rim Comm. Add. Elev. = 1367.97 (NAVD88)

BM #2: "□" Chiseled on Top of Curb ~280' east and ~35' south of the intersection of Tyler Rd. and 29th St. N. Elev. = 1363.98 (NAVD88)

BM #3: "□" Chiseled on Top of Curb ~90' east and ~35' south of the intersection of Tyler Rd. and 29th St. N. Elev. = 1362.99 (NAVD88)

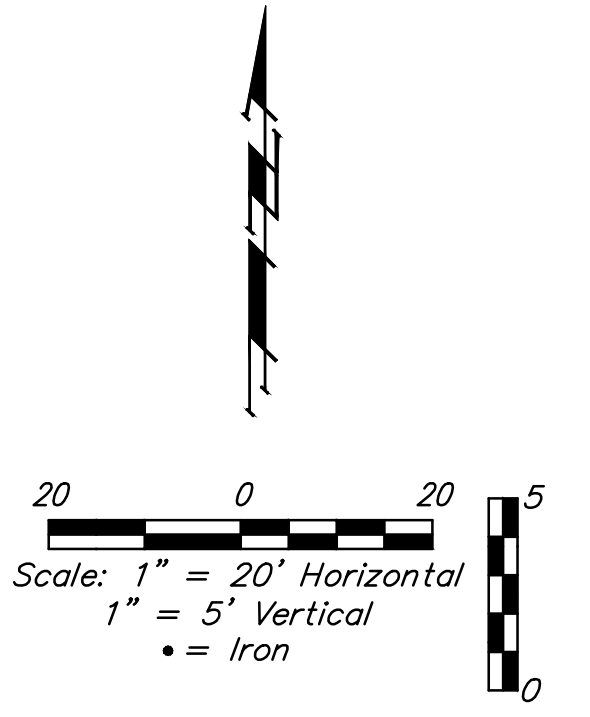
CL N Tyler Rd.

CL 29th St W

Contact utility companies 3 weeks prior to construction to coordinate temporary removal/replacement.
 Heide Bryan, Evergy, (316) 261-6354
 Shannon Brinkmeyer, AT&T (316) 268-2931
 Travis Taylor, Cox Comm., Travis.taylor@cox.com

LEGEND

(TS) = TEST STATION



Contractor to verify depth and location of existing utilities. Contractor to relocate any existing utilities as necessary for construction.

***Riser Note:**
 D1CL riser pipe, CIMJ Bend, & D1CL horizontal section exiting building foundation wall are to be mega-lugged together and riser is to be extended 12" above Building FFE. Riser location is approximate, building GC is required to locate Riser location per the foundation requirements. Contractor to install blind flange with 2" tap for testing. Remove flange & tap upon acceptance.

Riser is approximately 18"-24" above building FFE.

When fire service and domestic water line installed in same trench, trench shall be compacted per detail, this sheet.

Sta. 0+00.0, Fire 1
 1 - 8"x2" Tapping Saddle
 1 - 2" Tapping Valve & Valve Box
 Tapping saddle, tapping valve & valve box to be furnished and installed by the City of Wichita Water Dept. Contractor to set valve box to grade. Contractor to reimburse City of Wichita for water tap. Top Elev. = 1369.00

2" tapping saddle
 301' East CL of Tyler Rd
 268' South CL of 29th st

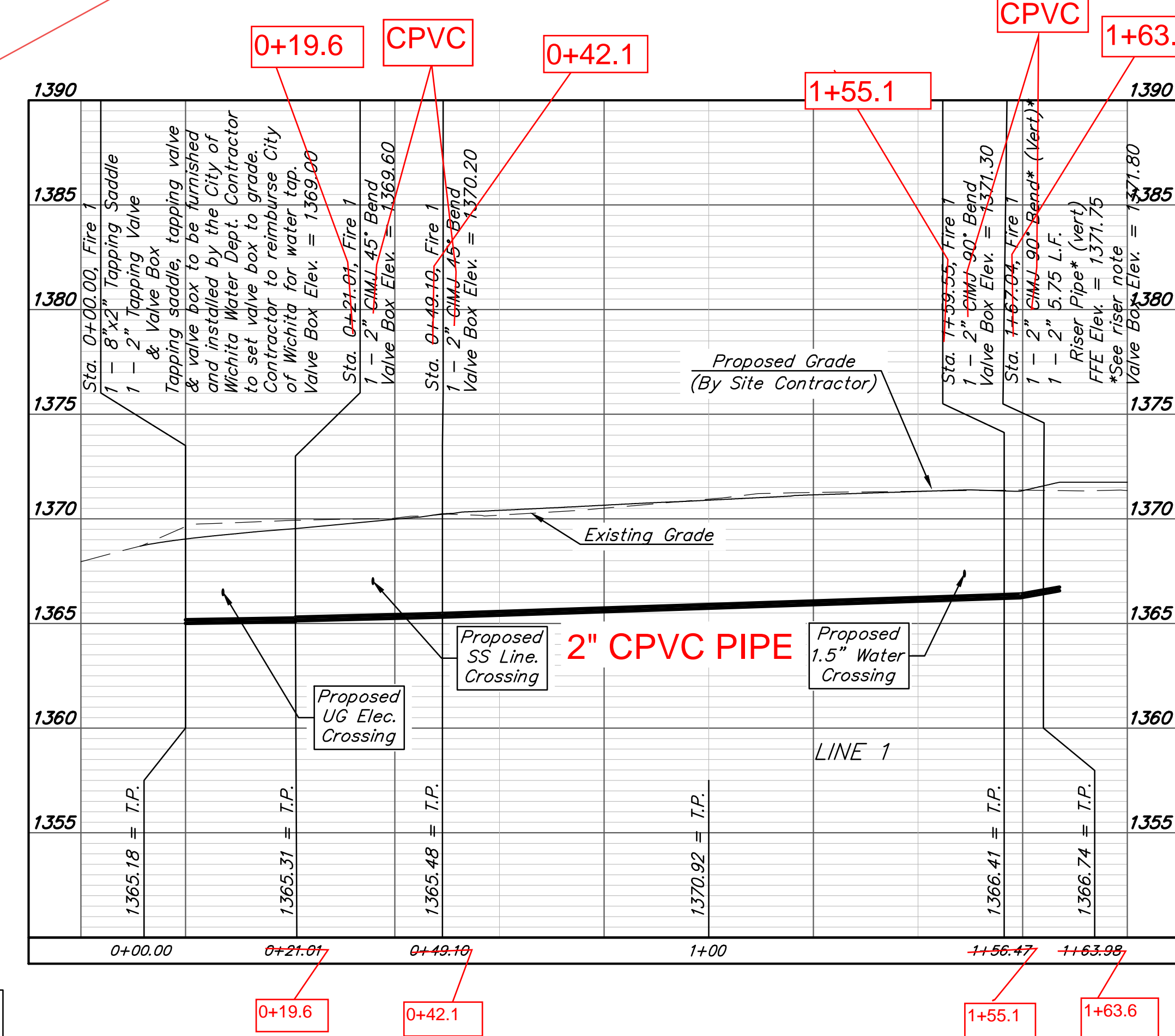
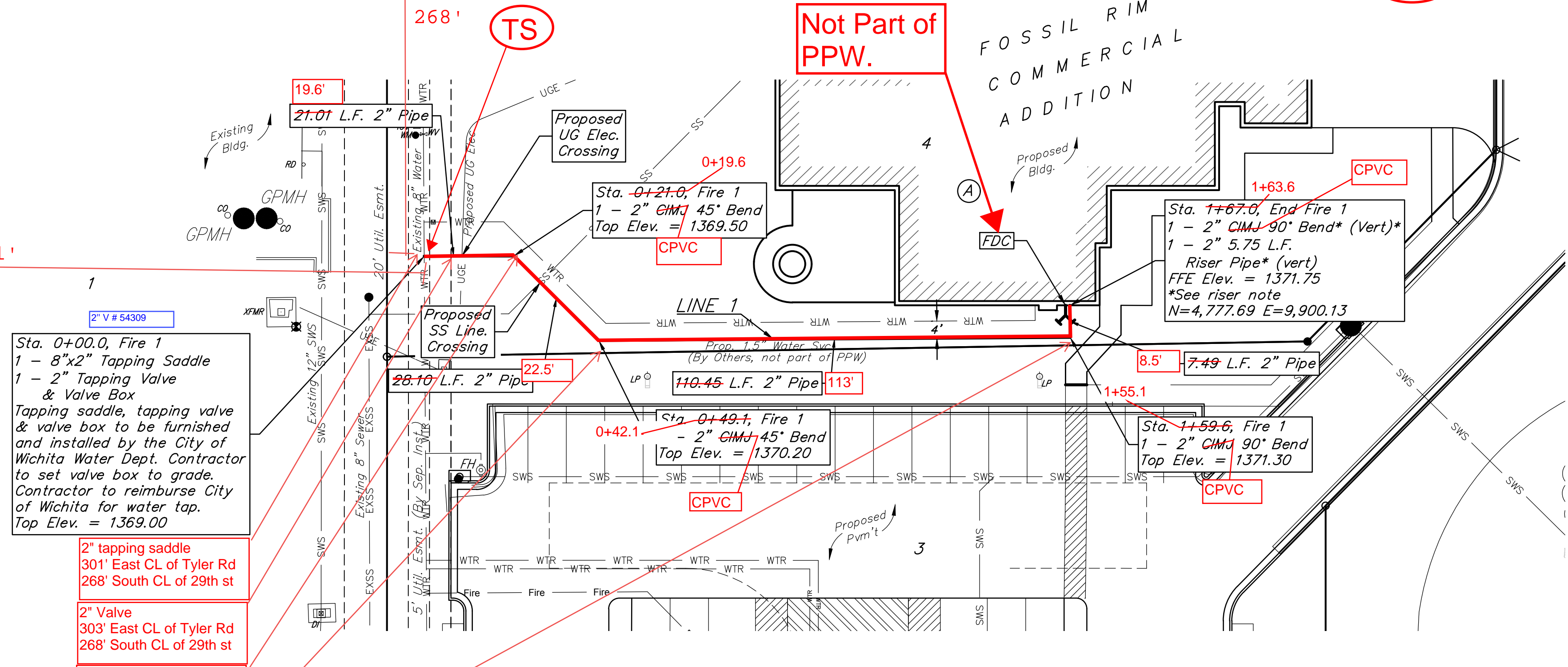
2" Valve
 303' East CL of Tyler Rd
 268' South CL of 29th st

45° cpvc bend
 320' East CL of Tyler Rd
 268' South CL of 29th st

45° cpvc bend
 376' East CL of Tyler Rd
 289' South CL of 29th st

90° cpvc bend
 451.5' East CL of Tyler Rd
 284' South CL of 29th st

DEPTH UNKNOWN
 Contractor to Verify Depth & Location of Existing Water Line Prior to Construction.



NOTES:
 1) 2" CPVC Pipe Used from TAP - Curb Stop Valve to inside Building.
 2) FDC = Not Part of this Private Project Water Job. Not Inspected.



BAUGHMAN COMPANY
 315 Ellis St.
 Wichita, KS 67211
 316-262-7271
 BaughmanCo.com

FOSSIL RIM COMM. ADDITION

LINE 1

WATER DISTRIBUTION SYSTEM

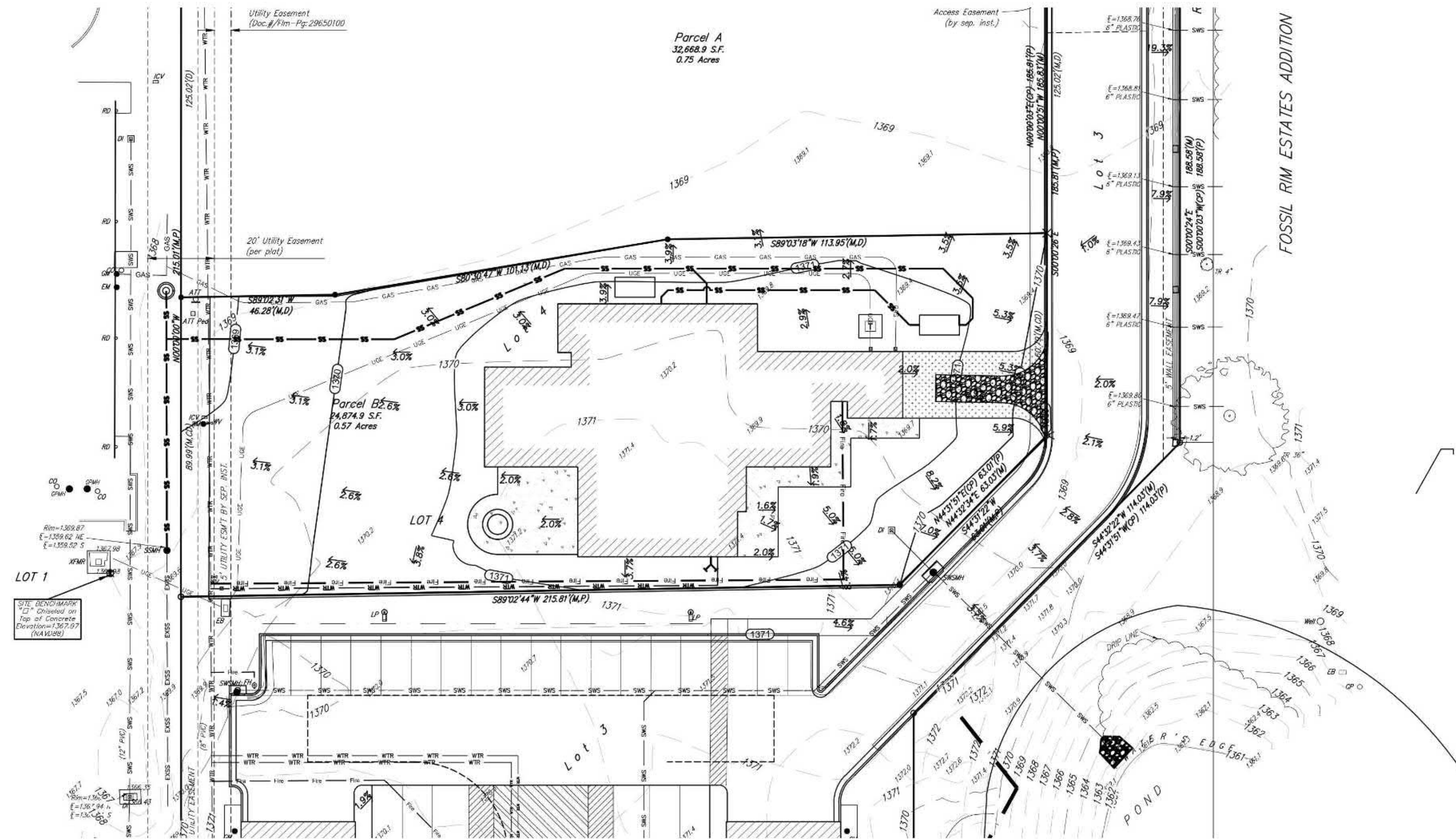
PROJECT NUMBER:
 23-03-E455

DESIGN: KH DRAWN: TMS

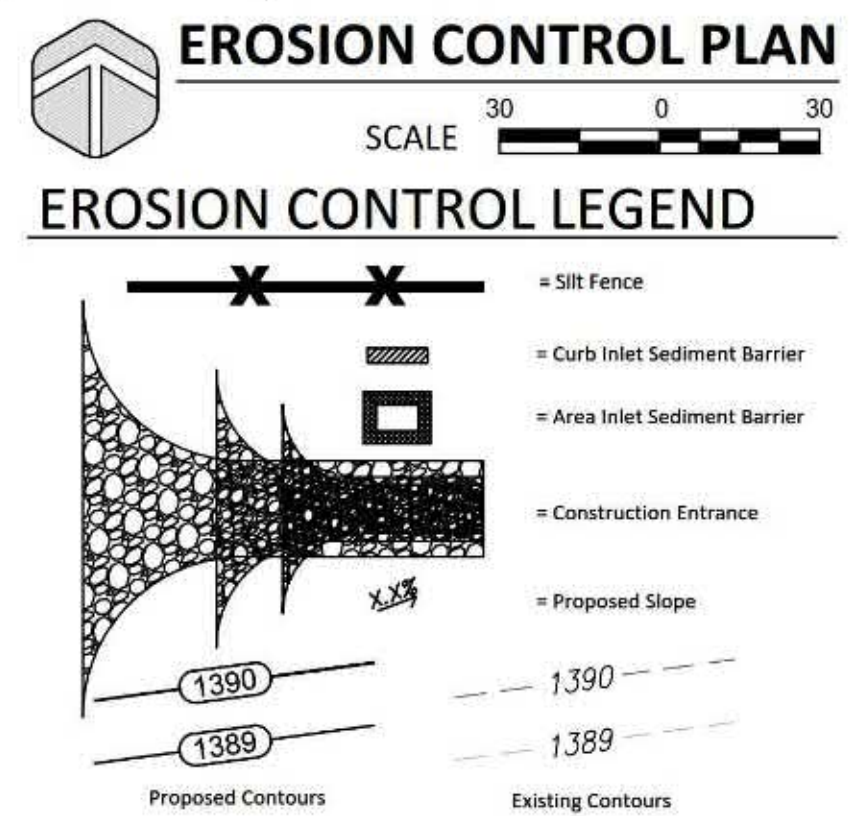
DATE: September 15, 2023

SHEET OF
2 12

File: E:\Projects\Fossil Rim Commercial Lot 4 - Comfort Care Homes Ph 2 (23-03-E455)\Engineering\Phase 1\PPWP\PPW.dwg



**FOR REFERENCE ONLY
NOT TO SCALE**



LEGAL DESCRIPTION

Parcel B:
A tract of land lying within Lot 4, Block A, Fossil Rim Commercial, Wichita, Sedgwick County, Kansas as prepared by Baughman Company, P.A., State of Kansas, County of Sedgwick, more particularly described as all of Lot 4; Block A in said Fossil Rim Commercial, EXCEPT that portion of said Lot 4 described as beginning of the northeast corner of said Lot 4; then 500°00'26"E coincident with the east line of said Lot 4, 125.02 feet to a point of 125.00 feet normally distant south of the north line of said Lot 4; then 589°03'18"W parallel with the north line of said Lot 4, 113.95 feet; then 589°02'31"W parallel with the north line of said Lot 4, 101.13 feet; then the west line of said Lot 4, and to a point 125.00 feet normally distant south of the north line of said Lot 4; then N00°00'00"W coincident with the west line of said Lot 4, 125.02 feet to the northwest corner of said Lot 4; then N89°02'31"E coincident with the north line of said Lot 4, 34.87 feet to a deflection point in the north line of said Lot 4; then N80°30'47"E coincident with the north line of said Lot 4, 101.15 feet to a deflection point in the north line of said Lot 4; then N89°03'18"E coincident with the north line of said Lot 4, 125.33 feet to the point of beginning.

SITE INFORMATION

Total Area:	±24,874 sq. ft. (0.57 acres)
Disturbed Area:	±24,874 sq. ft. (0.57 acres)
Impervious Area, pre-const:	±0 sq. ft. (0.0 acres)
Impervious Area, post-const:	±8,412.29 sq. ft. (0.193 acres)

BENCHMARKS

- Site Benchmark - 1
Square cut on curb on the south side of West 29th Street, 38' North and 7' West of Lot 4, Block A, Wyn-Wood Addition
Elevation = 1363.98 (NAVD 88)
- Site Benchmark - 2
Square cut on concrete 6' North and 22' West of the SW corner of Lot 4 Block A Wyn-Wood Addition
Elevation = 1367.97 (NAVD 88)

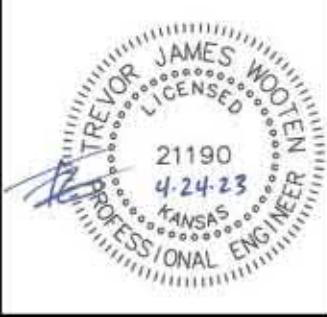
KANSAS ONE CALL

Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of three (3) working days prior to any excavation or work adjacent to

EROSION CONTROL NOTES

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. That portion of this project is to be completed within 14 days of final grading. The contractor shall comply with all applicable erosion control measures and standards for the site. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. (See #11).
- All exposed areas shall be seeded within 14 days of final grading. The contractor shall include straw mulch in the seeding to meet the minimum standards.
- Should construction stop for longer than 14 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on-site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by the appropriate authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe shall be protected with a silt fence or filter fabric.
- See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
- This Erosion Control Plan should be in job trailer and/or on site at all times. The Contractor shall be responsible for maintaining the plan and for updating it as necessary. This plan may be updated if necessary due to changes or updated construction details. The contractor shall be responsible for maintaining the plan and for updating it as necessary. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- If site disturbance is over 1 acre, an NPDES Permit Application has been submitted for this project.
- Any NPDES Permit Application shall be submitted for the project for the duration of the operation and kept at the job site for the duration of the construction process.

BAUGHMAN COMPANY
315 Ellis St.
Wichita, KS 67211
316-262-7271
BaughmanCo.com



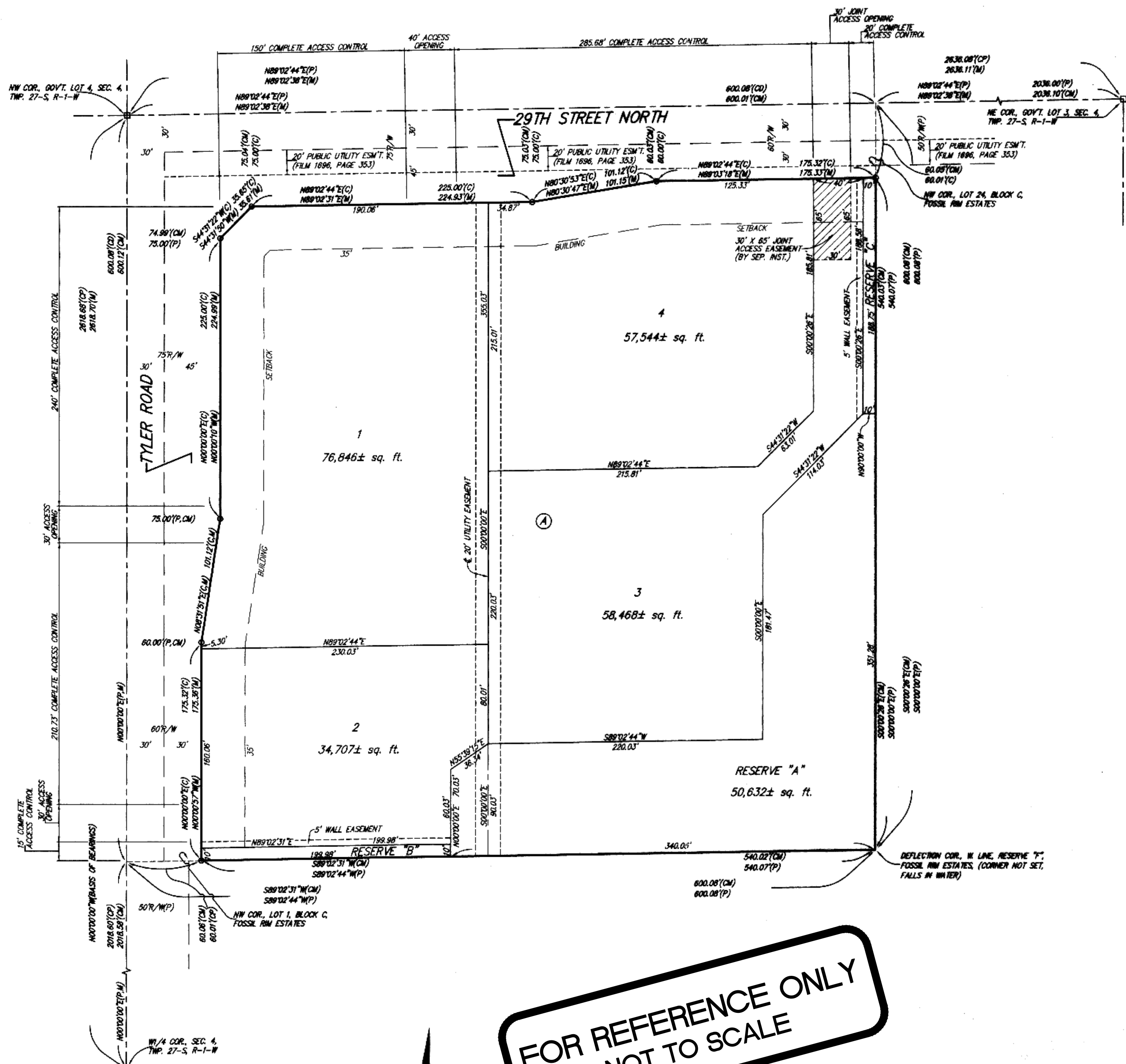
COMFORT CARE HOMES PHASE 2
LOT 4, BLOCK A, FOSSIL RIM COMMERCIAL ADDITION
WICHITA, KS

REVISION: DATE:
PROJECT NUMBER: 23-03-E455
DESIGN: TJW DRAWN: KMH
DATE: 04/24/2023
EROSION CONTROL PLAN

BAUGHMAN COMPANY
315 Ellis St.
Wichita, KS 67211
316-262-7271
BaughmanCo.com

FOSSIL RIM COMM. ADDITION
EROSION CONTROL PLAN
WATER DISTRIBUTION SYSTEM
PROJECT NUMBER: 23-03-E455
DESIGN: DRAWN:
DATE: July 20, 2023
SHEET 3 OF 12

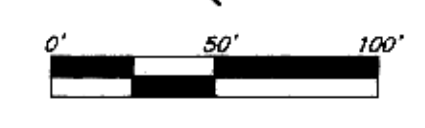
FOSSIL RIM COMMERCIAL ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



**FOR REFERENCE ONLY
NOT TO SCALE**

LOT	BLOCK	ELEVATION
2, 3	A	1,368.0

- = #4 REBAR W/ "PHILIPS" CAP (FOUND)
- = 1/2" IRON PIPE IN THIMBLE (FOUND)
- (M) = MEASURED
- (P) = PLATTED
- (C) = CALCULATED
- (CM) = CALCULATED PER MEASURED INFO.
- (CP) = CALCULATED PER PLATTED INFO.
- (CD) = CALCULATED PER DESCRIBED INFO.



NOTE:
ADDITIONAL BUILDING SETBACKS AND OTHER REQUIREMENTS PER COMMUNITY UNIT PLAN DP-340.

BENCHMARK:
CHESELED SQUARE, NORTH 6' OF CATCH BASIN, 38.3' N. & 9.6' W. OF THE MOST NORTHERLY NW COR. LOT 1, BLOCK A, FOSSIL RIM COMMERCIAL ADDITION.
ELEV. = 1,362.99 NAVD83

CHESELED SQUARE, TOP OF CURB, 29.7' W. OF THE SW COR., RESERVE "B", FOSSIL RIM COMMERCIAL ADDITION.
ELEV. = 1,363.87 NAVD83

NOTE:
A drainage plan has been developed for the plot and all drainage easements, rights-of-way, or reserves shall remain of established grades or as modified with the approval of the applicable City or County Engineer and unobstructed to allow for the conveyance of stormwater.

State of Kansas) SS We, Baughman Company, P.A., Surveyors in Sedgwick County and state do hereby certify that we have surveyed and platted "FOSSIL RIM COMMERCIAL ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of the property surveyed, described as the north 600.00 feet of the west 600.00 feet of Government Lot 4 in the Northwest Quarter of Section 4, Township 27 South, Range 1 West of the Sixth Principal Meridian, Sedgwick County, Kansas.

Existing public easements, access controls, building setback lines, and dedications, if any, being vacated by virtue of K.S.A. 12-512b, as amended. All being situated in Government Lot 4 in the Northwest Quarter of Section 4, Township 27 South, Range 1 West of the Sixth Principal Meridian, Sedgwick County, Kansas.

Baughman Company, P.A.
Michael G. Conroy, Surveyor
11-2016

Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be platted into Lots, a Block, Reserves and Streets, to be known as "FOSSIL RIM COMMERCIAL ADDITION", Wichita, Sedgwick County, Kansas. The utility easement is hereby granted as indicated for the construction and maintenance of all public utilities. No signs, light poles, private drainage systems, masonry trash enclosures or other structures shall be located within public utility easements. The wall easements are hereby granted as indicated for the construction and maintenance of private screening walls and utility main lines and service lines shall be allowed to cross these easements. The streets are hereby dedicated to and for the use of the public. Reserve "A" is reserved for landscaping, lakes, open space, berms, sidewalks, drainage purposes and utilities as confined to easements. Reserves "B" and "C" are reserved for landscaping, open space, berms, drainage purposes and utilities. Reserves "A", "B", and "C" shall be owned and maintained by the Lot Owners association for the addition. Access controls shall be as depicted on the face of the plat and are hereby granted to the City of Wichita, Kansas. The Minimum Building Pad Elevations for the lowest opening to the structures shall be as indicated on the face of the plat.

Hawkins Marital Trust, Las Vegas, NV, under Trust Agreement dated July 14, 2008, as Amended
Craig A. Kreiser, Co-Trustee

State of Kansas) SS The foregoing instrument acknowledged before me, this 11th day of August, 2016, by Craig A. Kreiser, Co-Trustee of the Hawkins Marital Trust, Las Vegas, NV, under Trust Agreement dated July 14, 2008, as Amended, on behalf of the trust.

Kelly A. Thomas, Notary Public
My App't. Exp. 4-16-20

This plat of "FOSSIL RIM COMMERCIAL ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.
Dated this 4th day of August, 2016.
Wichita-Sedgwick County Metropolitan Area Planning Commission

Carl Chapman Bugert, Chair
Dale Miller, Secretary

This plat approved and all dedications shown hereon, accepted by the City Council of the City of Wichita, Kansas, this 16th day of September, 2016.
Jeff Longwell, Mayor
Karen Sublett, City Clerk

Reviewed in accordance with K.S.A. 58-2005 on this 16th day of August, 2016.
Tricia L. Robello, L.S. #1246, Deputy County Surveyor, Sedgwick County, Kansas

Entered on transfer record this 16th day of September, 2016.
Kelly B. Arnold, County Clerk

State of Kansas) SS This is to certify that this plat has been filed for record in the office of the Register of Deeds, this 8th day of September, 2016 at 10:39 AM, and is duly recorded.

Tonya Buckingham, Register of Deeds
Judy J. Paget, Deputy

Baughman Company, P.A.
315 Ellis St. Wichita, KS 67211
P 316-262-7271 F 316-262-0149

BAUGHMAN COMPANY
315 Ellis St. Wichita, KS 67211
316-262-7271
BaughmanCo.com

FOSSIL RIM COMM. ADDITION

COPY OF PLAT

PROJECT NUMBER: 23-03-E455
DRAWN: DATE: July 20, 2023
SHEET 12 OF 12