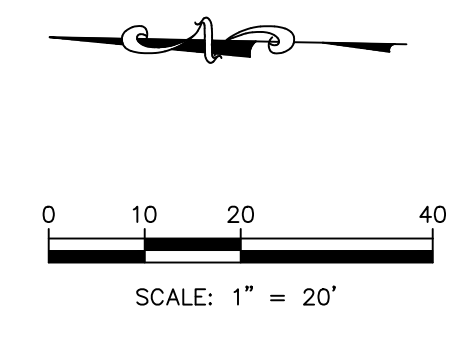




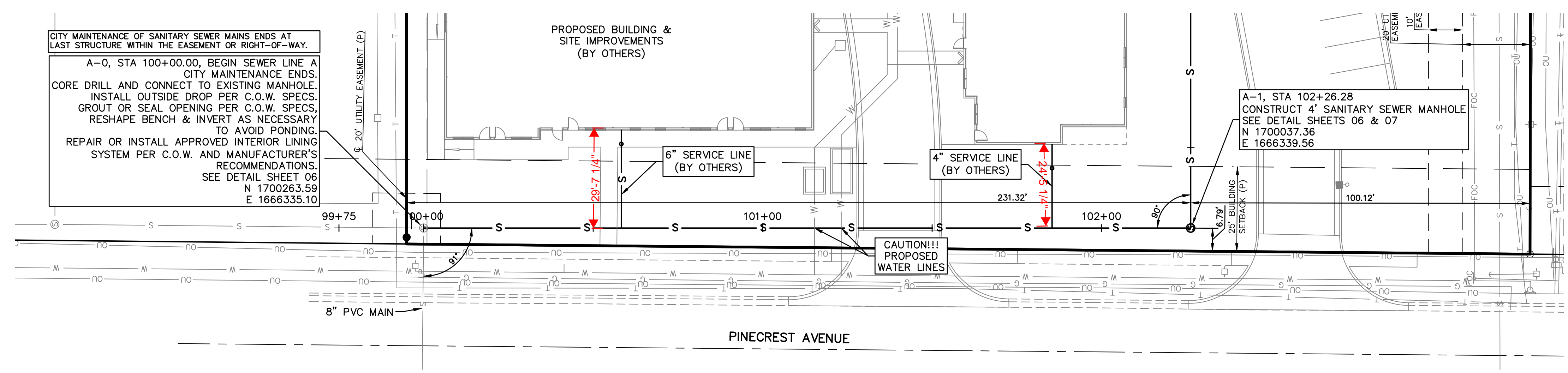
# AS BUILTS



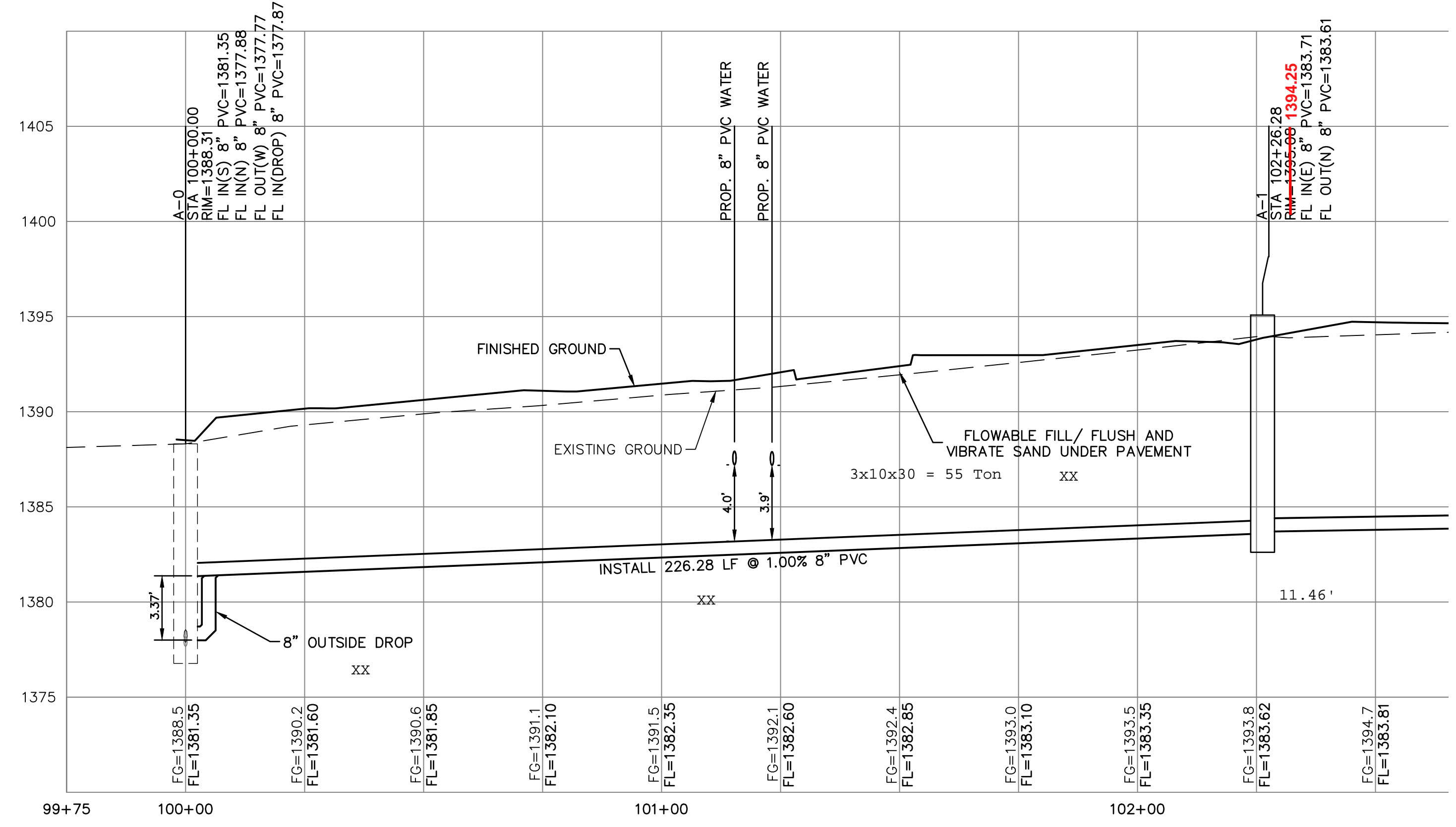
**KEMILLER**  
ENGINEERING PA  
117 E. Lewis,  
Wichita, KS 67202 (316)264-0242



SCALE:  
PLAN: 1"=20'  
PROFILE: 1"=20' HORIZ.  
1"=5' VERT.



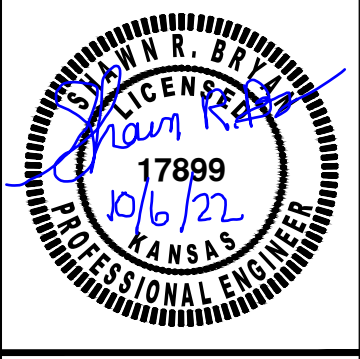
### SANITARY SEWER LINE A



THE COORDINATES PROVIDED IN THESE PLANS ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN IN THE TABLE HEREON BEFORE CONSTRUCTION.

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SRB	CHK
CS	DWN
EAM	DSN
INITIAL ISSUE	DESCRIPTION
10/06/22	REV DATE



SHAWN R. BRYAN  
ENGINEER  
KS # 17899

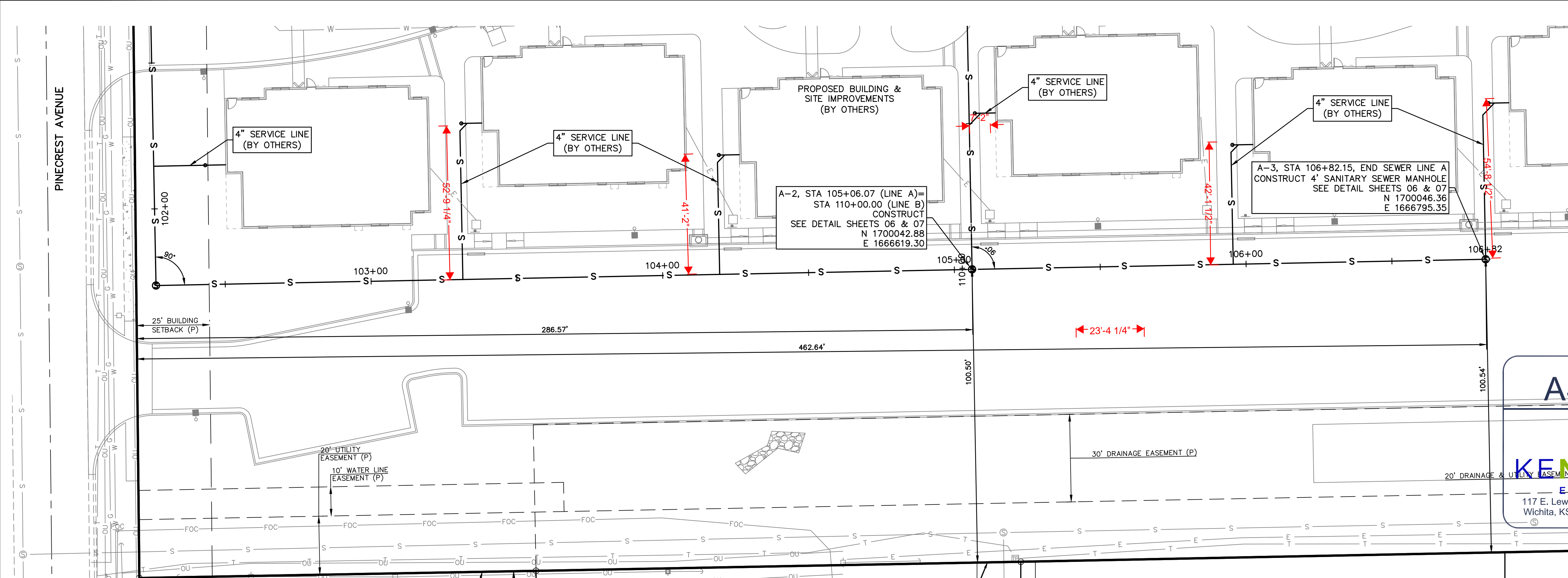
200 N. EMPORIA, SUITE 100  
WICHITA, KANSAS 67202  
PH. (316) 440-4304 | FAX (316) 440-4309  
www.kawvalleyeng.com | www.kve.com

**KAW VALLEY ENGINEERING**  
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/22

**SPECTRA STUDENT LIVING**  
21ST STREET & PINECREST AVE  
WICHITA, KS

**SANITARY SEWER IMPROVEMENTS**  
SANITARY LINE A PLAN AND PROFILE

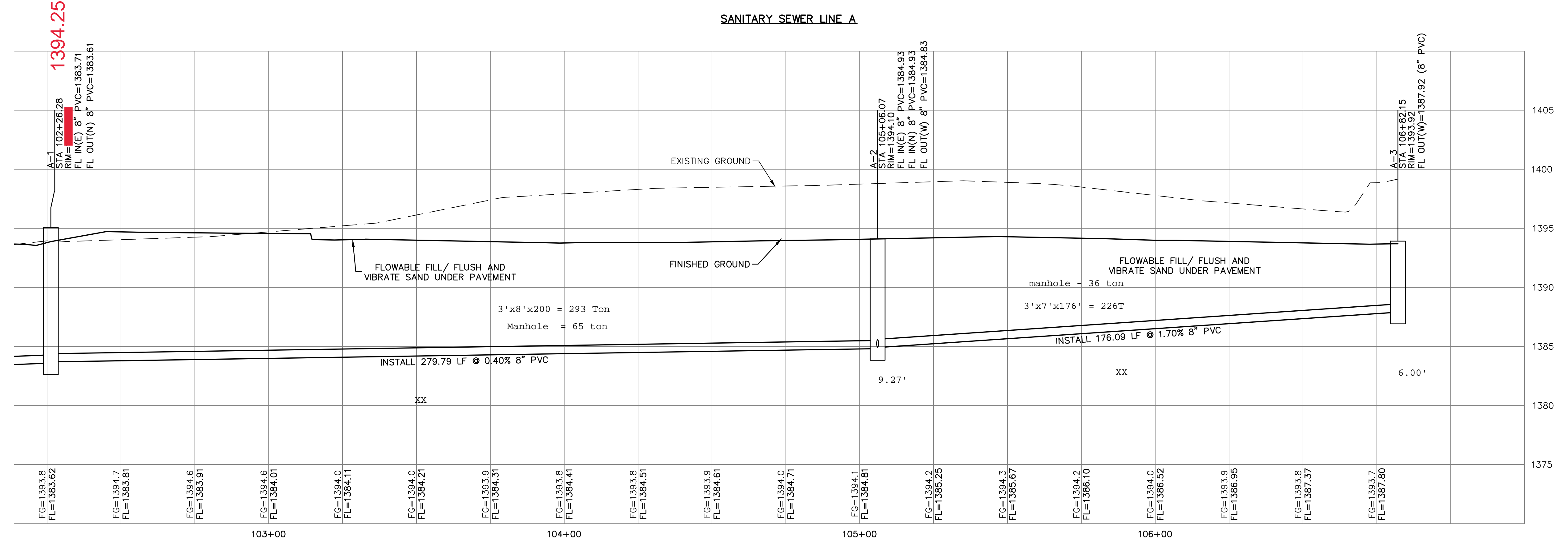
PROJ. NO.	G22-2066
DESIGNER	EAM
DRAWN BY	CS
CFN	2066SPP
SHEET	02
REV	0



**AS BUILTS**

117 E. Lewis,  
Wichita, KS 67202 (316)264-0242

**SANITARY SEWER LINE A**



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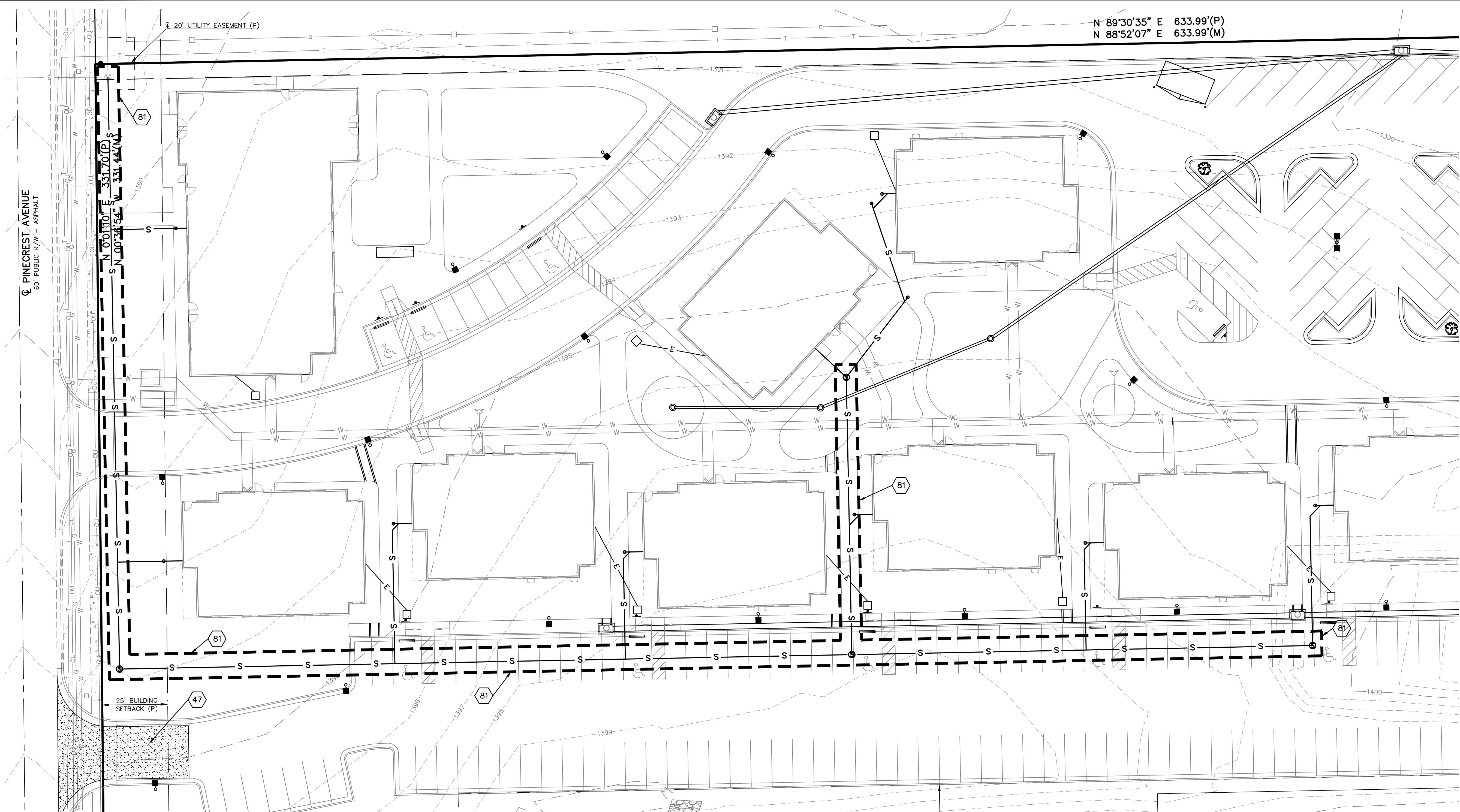
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SANITARY LINE A PLAN AND PROFILE

PROJ. NO.	G22-2066
DESIGNER	EAM
DRAWN BY	CS
CFN	2066SPP
SHEET	03
REV	0





N 89°30'35" E 633.99'(P)  
N 88°52'07" E 633.99'(M)

Q PINECREST AVENUE  
60' PUBLIC R/W - ASPHALT

81

351.70 (P)  
N 0°01'01" E  
N 0°01'54" W 331.44 (M)

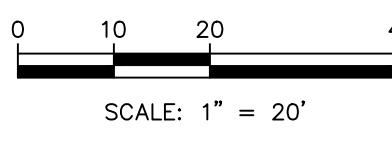
25' BUILDING SETBACK (P)

47

81

81

81



**EROSION CONTROL NOTES:**

1. PROPERTY LINE IS LIMITS OF CONSTRUCTION EXCEPT AS SHOWN.
2. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING EARTHWORK OPERATIONS.
3. THE CONTRACTOR SHALL MAINTAIN ALL SILT CONTROL MEASURES DURING CONSTRUCTION.
4. ALL SILT SHALL REMAIN ON SITE AND SURROUNDING STREETS SHALL BE KEPT CLEAR OF ALL MUD AND DEBRIS.
5. A SEDIMENTATION BARRIER IS TO BE INSTALLED AS SHOWN.
6. ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE SEDIMENTATION BARRIERS MAINTAINED AS NEEDED TO PREVENT SEDIMENTATION BYPASS OF THE BARRIER.
7. SLOPES ARE TO BE LEFT IN A ROUGH CONDITION DURING GRADING.
8. CURB INLET SEDIMENTATION BARRIERS ARE TO BE INSTALLED AROUND INLETS AND WEIRS WHERE SEDIMENTATION IS A CONCERN. INLET BARRIERS SHALL BE EITHER BLOCK AND GRAVEL OR SILT FENCE.
9. SEDIMENT IS TO BE REMOVED FROM STORM WATER DRAINAGE SYSTEMS.
10. RIPRAP IS TO BE INSTALLED AT AREAS OF CONCENTRATED FLOW (I.E. CULVERT OUTLETS).

11. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL AS HE/SHE DEEMS NECESSARY.
12. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR AS NECESSARY TO INSTALL AND MAINTAIN ADEQUATE EROSION AND SILTATION CONTROLS REQUIRED TO PREVENT SOIL EROSION FROM LEAVING THE PROJECT SITE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT METHODS UTILIZED ARE ADEQUATE AND COMPLY WITH REQUIREMENTS OF THE SPECIFICATIONS AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
13. TEMPORARY SEDIMENT FENCE TO REMAIN UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
14. MUD AND DEBRIS SHALL BE CLEANED UP AT THE CONCLUSION OF EACH WORKING DAY, OR AFTER EACH RAINFALL IF SILT IS PRESENT.
15. INSPECTION, MAINTENANCE AND REPAIR OF EROSION CONTROL DEVICES SHALL BE ON GOING THROUGHOUT THE LIFE OF BUILDING CONSTRUCTION TO KEEP THE DEVICES IN OPERABLE CONDITION AT ALL TIMES. ADDITIONAL MEASURES SHALL BE INSTALLED AS REQUIRED BY ACTUAL FIELD CONDITIONS AND/OR GOVERNING INSPECTION AGENCIES.
16. INSTALL CONSTRUCTION ENTRANCE AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING THE SITE AND AS SHOWN ON PLANS.
17. AT COMPLETION OF SITE GRADING AND OTHER RELATED CONSTRUCTION ACTIVITIES, ALL DISTURBED AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED, SODDED, OR LANDSCAPED AS SHOWN ON THE LANDSCAPE PLAN WITHIN 14 DAYS.

18. TOPSOIL IS TO BE PLACED IN AREAS UNSUITABLE FOR VEGETATIVE GROWTH.
19. STRIP TOPSOIL PRIOR TO EXCAVATION, STOCKPILE AND SPREAD ONTO DISKED SUBGRADE (4" MIN) A THICKNESS OF 4 INCHES.
20. ROCK LINING (RIPRAP) SHALL BE DURABLE STONE CONTAINING A COMBINED TOTAL OF NOT MORE THAN 10 PERCENT OF EARTH, SAND, SHALE AND NON-DURABLE ROCK. AT LEAST 60 PERCENT OF THE MASS SHALL BE OF PIECES HAVING A MINIMUM WEIGHT OF 150 POUNDS OR MORE PER CUBIC FOOT.
21. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR RESOLVING COMPLAINTS IN THE EVENT THAT COMPLAINTS OR DAMAGE CLAIMS ARE FILED DUE TO DAMAGES OCCURRING ADJACENT TO OR DOWNSTREAM FROM PROPERTY BY SEDIMENT RESULTING FROM EROSION ON THE PROJECT SITE.
22. GOOD HOUSEKEEPING PRACTICES SHALL BE MAINTAINED ON SITE TO KEEP SOLID WASTE FROM ENTRY INTO WATERS.
23. ALL FUELING FACILITIES PRESENT ON SITE SHALL ADHERE TO APPLICABLE FEDERAL AND STATE REQUIREMENTS CONCERNING UNDERGROUND STORAGE, ABOVE GROUND STORAGE AND DISPENSERS, INCLUDING SPILL PREVENTION, CONTROL AND COUNTER MEASURES.
24. EROSION CONTROL IS TO BE PLACED IN PHASING AS CONSTRUCTION PROGRESSES.

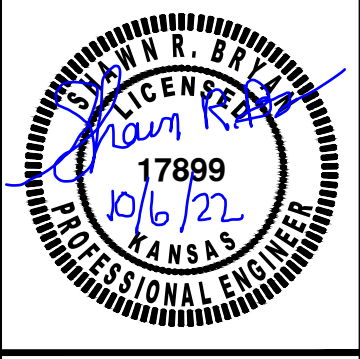
25. MINIMAL WASHING OF CONCRETE EQUIPMENT ALLOWED, CHUTE ETC. CONCRETE WASHOUT OF THE DRUM IS NOT ALLOWED. ANY PIT/WASHOUT AREA NEEDS TO BE MAINTAINED IN A NON-DISCHARGING MANNER AND ANY WASTE RESIDUE WILL NEED TO BE CLEANED OUT AND REMOVED AT THE END OF PROJECT.
26. CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR HAVING LOT BUILDERS FOLLOW THE GUIDELINES OF "CONTROLLING EROSION WHEN BUILDING YOUR HOME" PROVIDED BY KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT.
27. EROSION CONTROL SEDIMENT FENCE TO BE INSTALLED 1'-0" BEHIND CURB & GUTTER UPON COMPLETION OF BACKFILL OF CURB IN ALL AREAS WHERE SLOPES FROM LOT DRAIN TOWARDS CURB. UPON COMPLETION OF FINAL GRADING THE TOES OF ALL EMBANKMENTS IN EXCESS OF TWO FEET IN HEIGHT WILL HAVE EROSION CONTROL SEDIMENT FENCE INSTALLED.

**LEGEND (PROPOSED)**

- 1381 --- EXISTING GROUND CONTOUR (1' INTERVALS)
  - SILT FENCE (APPROX. 1,100 LF, INSTALL PER EROSION CONTROL DETAILS)
- NOTES:
- 47 CONSTRUCTION ENTRANCE (PER CITY OF WICHITA STANDARDS)
  - 81 SEDIMENTATION FENCE (PER CITY OF WICHITA STANDARDS)

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SHAWN R. BRYAN  
ENGINEER  
KS # 17899

200 N. EMPORIA, SUITE 100  
WICHITA, KANSAS 67202  
PH. (316) 440-4304 | FAX (316) 440-4309  
www.kaveg.com | www.kveg.com

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KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/22

**SPECTRA STUDENT LIVING**  
21ST STREET & PINECREST AVE  
WICHITA, KS

**SANITARY SEWER IMPROVEMENTS**  
**EROSION CONTROL PLAN**

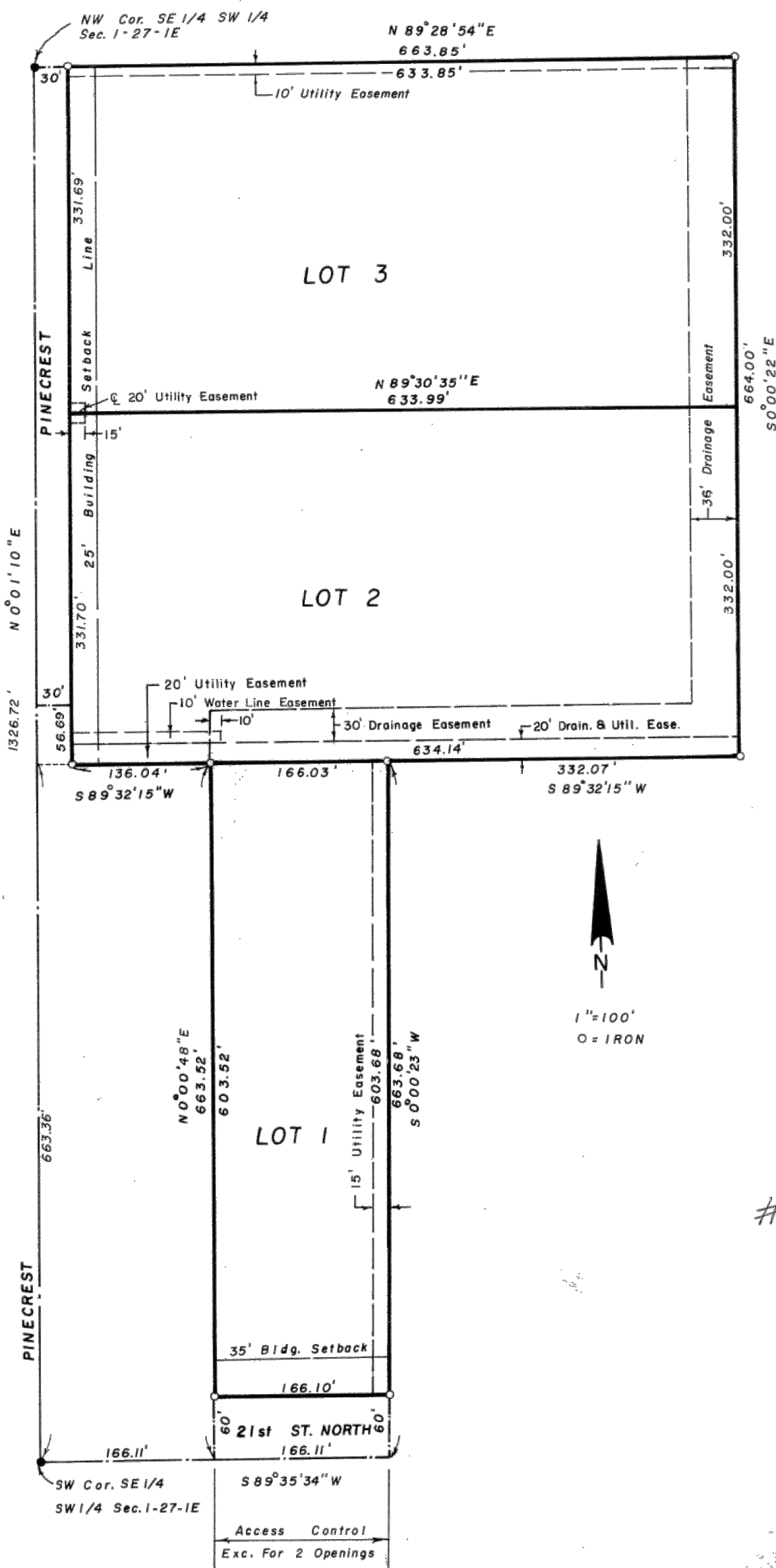
PROJ. NO.	G22-2066
DESIGNER	EAM
DRAWN BY	CS
CFN	2066SECP
SHEET	05
REV	0

1E-1 E-5

1E-1 E-5

# WICHITA LAND ADDITION

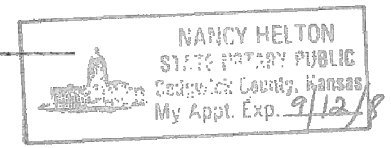
WICHITA, SEDGWICK COUNTY, KANSAS



State of Kansas, County of Sedgwick, SS.

The foregoing instrument was acknowledged before me this 1st day of December, 1983, by J.D. Newman, Vice President, of Fourth National Bank and Trust Company, Wichita, Kansas, a Kansas Corporation, on behalf of the corporation.

My Commission expires: 9/12/86  
Nancy Helton, Notary Public



This plat of "Wichita Land Addition", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 25th day of August, 1983.

Wichita-Sedgwick County Metropolitan Area Planning Commission  
David Bayouth, Chairman  
Robert A. Lakin, Secretary

This plat approved and all dedications shown hereon, if any, accepted by the Board of City Commissioners of the City of Wichita, Kansas, this 13th day of December, 1983.

Margalee Wright, Mayor  
Donald E. Gislak, City Clerk

#670758

This plat approved and all dedications shown hereon, if any accepted by the Board of County Commissioners of Sedgwick County, Kansas, this 12 day of Jan, 1984.

Jack Spratt, Chairman  
Donald E. Gislak, Commissioner  
Tom Scott, Commissioner

ATTEST:  
Dorothy K. White, County Clerk

Entered on transfer record this 12 day of Jan, 1984.

Dorothy K. White, County Clerk

State of Kansas, County of Sedgwick, SS.

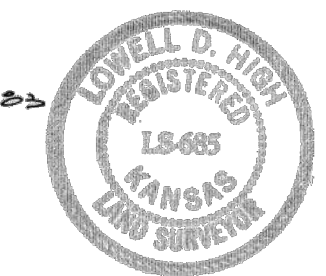
This is to certify that this instrument was filed for record in the Register of Deeds Office, at 11:00 o'clock, A.M., on the 12th day of JANUARY, 1984.

Bette F. McCart, Register of Deeds  
Pat Kettler, Deputy

State of Kansas, County of Sedgwick, SS.

I, Lowell D. High, Land Surveyor in the State of Kansas do hereby certify that I have surveyed and platted "Wichita Land Addition", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of said survey described as follows: The South Half of the Northwest Quarter of the Southeast Quarter of the Southwest Quarter of Section 1, Township 27 South, Range 1 East of the 6th P.M., except the West 30 feet of the South 56.69 feet thereof, Sedgwick County, Kansas; and the East Half of the West Half of the South Half of the West Half of the Southeast Quarter of the Southwest Quarter of Section 1, Township 27 South, Range 1 East of the 6th P.M., Sedgwick County, Kansas; and the North Half of the Northwest Quarter of the Southeast Quarter of the Southwest Quarter of Section 1, Township 27 South, Range 1 East of the 6th P.M., Sedgwick County, Kansas.

Lowell D. High, L.S. 10-21-83



Know all men by these presents that Wichita Land Associates, Inc., a Kansas Corporation, by Aleksandar Hadjijski, President, has caused the land described in the Land Surveyor's Certificate to be platted into Lots and Streets to be known as "Wichita Land Addition", Wichita, Sedgwick County, Kansas.

The streets are hereby dedicated to and for the use of the public. Utility easements as indicated on the plat are hereby granted for the construction and maintenance of all public utilities. The drainage easement as indicated on the plat is hereby granted for drainage purposes. The drainage and utility easement as indicated on the plat is hereby granted for drainage purposes and construction and maintenance of all public utilities. The water line easement as indicated on the plat is hereby granted for the construction and maintenance of a public water line.

All abutter's rights of access to or from 21st Street North, over and across the south line of Lot 1, are hereby granted to the City of Wichita, provided, however, that Lot 1 shall have access to 21st Street North at two locations to be designated by the City Engineer of Wichita, Kansas.

Wichita Land Associates, Inc., a Kansas Corporation.  
Aleksandar Hadjijski, President

Attest:  
Patricia M. Stevenson, Secretary

State of Kansas, County of Sedgwick, SS.

Be it remembered that on this 1st day of November, 1983, before me a notary public in aforesaid county and state name Aleksandar Hadjijski, President and to me known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same for and on behalf and as the act and deed of said corporation. In testimony thereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Belinda Bishop, Notary Public

My commission expires: February 8, 1984



The Fourth National Bank and Trust Company, Wichita, Kansas, by J.D. Newman, Vice President, mortgagee to the land described in the Surveyor's Certificate, does hereby consent to the platting of "Wichita Land Addition", Wichita, Sedgwick County, Kansas.

Fourth National Bank and Trust Company, Wichita, Kansas

J.D. Newman

ATTEST:

The Union National Bank of Wichita, Kansas, by Skip Schatz, Vice President, mortgagee to the land described in the Land Surveyor's Certificate, does hereby consent to the platting of "Wichita Land Addition", Wichita, Sedgwick County, Kansas.

ATTEST:  
Skip Schatz, Vice President

State of Kansas, County of Sedgwick, SS.  
The foregoing instrument was acknowledged before me this 1st day of December, 1983, by Skip Schatz, Vice President, of Union National Bank of Wichita, Kansas, a Kansas Corporation, on behalf of the corporation.

My Commission expires: 3-4-84  
Carol M. King, Notary Public



20.00

S-3 1-31

S-3 1-31

SRB	CHK
CS	DWN
EAM	DSN
REV	DATE
0	10/06/22
INITIAL	ISSUE
DESCRIPTION	
SHAWN R. BRYAN ENGINEER KS # 17899	
200 N. EMPORIA, SUITE 100 WICHITA, KANSAS 67202 PH. (316) 440-4304   FAX (316) 440-4309 www.kawvalleyeng.com   info@kawvalleyeng.com	
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DESIGNER	EAM
DRAWN BY	CS
CFN	2066SDET
SHEET	13
REV	0