

# GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
Kansas One-Call 687-2470  
The Contractor must notify the following in case of an emergency:  
AT&T 1-800-246-8464  
Black Hills Energy 1-800-694-8989  
City of Wichita Water & Sewer 1-316-219-8921  
City of Wichita Stormwater 1-316-268-4090  
City of Wichita Traffic 1-316-268-4034  
Cox Communications 1-888-249-3530  
Kansas Gas Service 1-888-482-4950  
Westar Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades by the contractor.
- The Contractor shall notify the consultant engineer and Tom Mason at 316-268-4574 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at [traffic@wichita.gov](mailto:traffic@wichita.gov) before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.

- Any sidewalk, drive approach, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- City maintenance of storm sewer ends at last structure in the right-of-way.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top to the manhole.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractor's expense.
- All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor and until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMPs".
- All of Sycamore St. R/W shall be seeded and mulched as follows:  
Seed --- Kansas Premium Fescue Blend; 8 lbs. PLS/1000 Sq. Ft.  
Annual Rye grass; 3 lbs./1000 Sq. Ft.  
Fertilizer --- 12-24-12 Ratio; 45 Lbs./Ac.  
Mulch --- 2 Tons Prairie Hay/Ac.  
All other disturbed areas within street R/W and lots are to be seeded as follows:  
Seed --- Rye grass; 5 lbs./1000 Sq. Ft.  
All costs associated with seeding including mobilization, preparation of ground, seeding, fertilizing, mulching, etc. shall be included in the L.S. bid item "Seeding".
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.

# STORM SEWER IMPROVEMENTS

## to serve

# HUTTON CORP. HEADQUARTERS

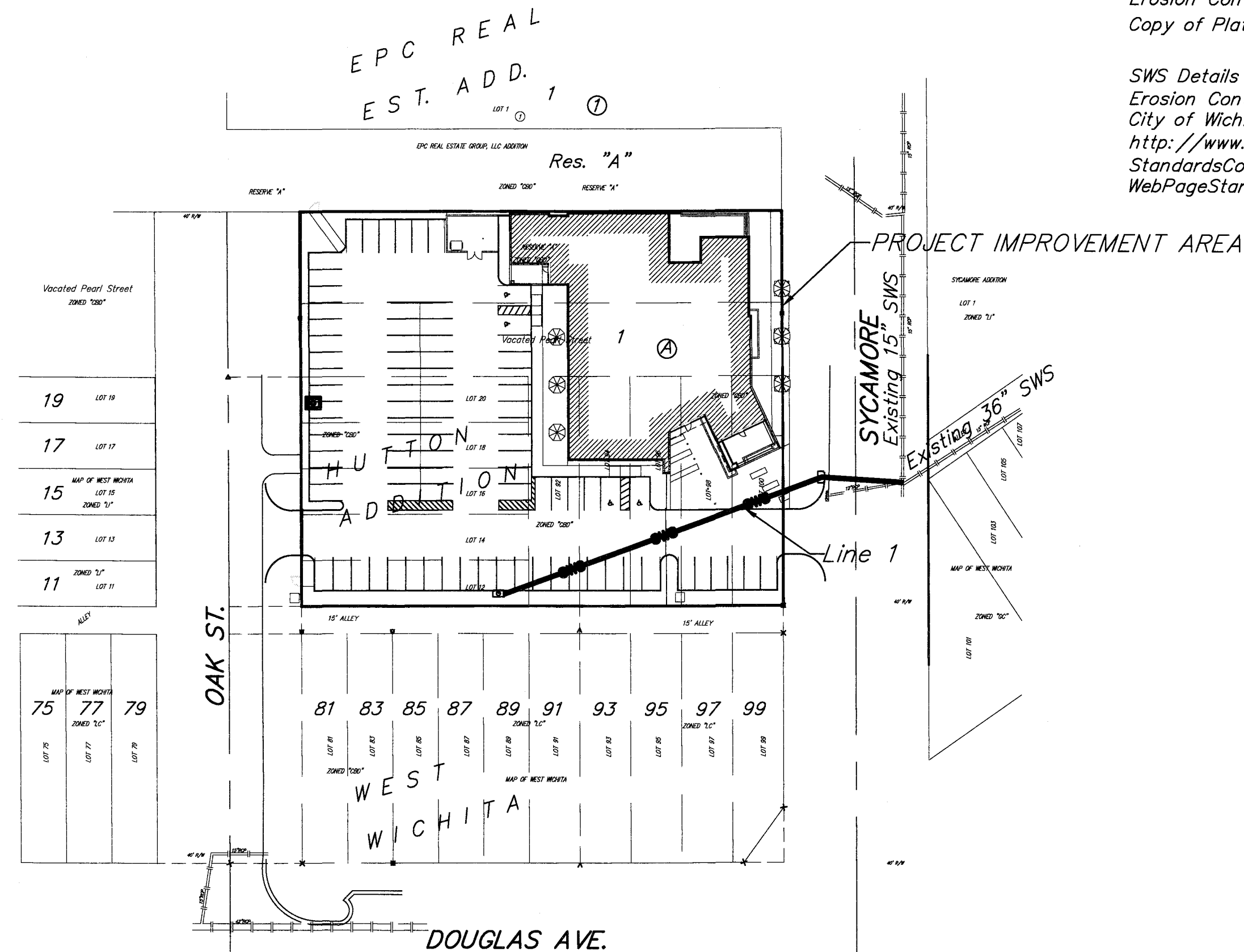
111 N. Sycamore  
CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer  
Project Number  
602 PPD (133119)

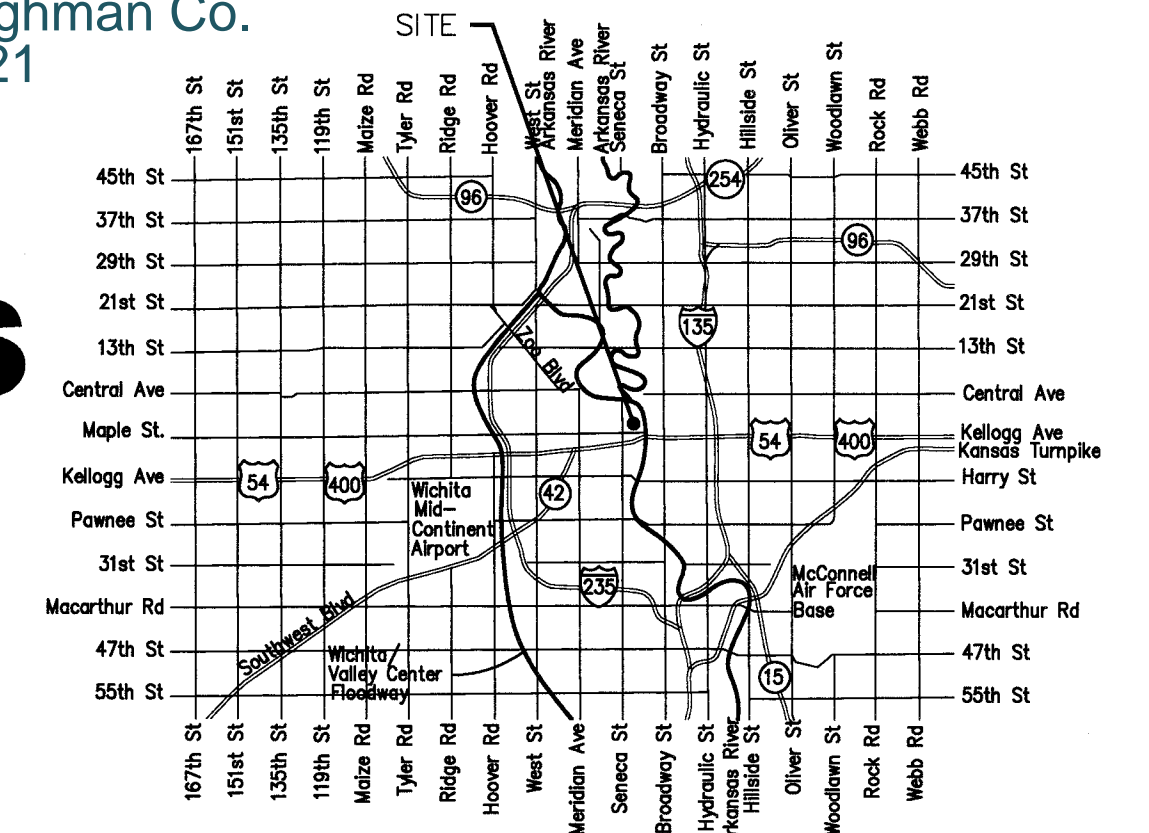
### Benchmarks

BM #1: Benchmark ~48' E and 20' N of the intersection of Douglas Ave. & Oak St. Elev. = 1298.97 NAVD88

BM #2: Cross cut on sidewalk, ~40' W and 190' N of the intersection of Douglas Ave. & Oak St. Elev. = 1299.82 NAVD88



**AS BUILT PLANS**  
Contractor: McCullough Excavation  
Inspector: Larry Powell, Baughman Co.  
As BUILT by: KEK, 1/21/21



### Vicinity Map

### Sheet Index

Title Sheet	1
Line 1	2
Erosion Control/Grading Plan	3
Copy of Plat	4

SWS Details SW-101 and Erosion Control Details available at City of Wichita web site at <http://www.wichita.gov/PWU/StandardsConstruction/Forms/WebPageStandardsConstruction.aspx>

**Stormwater Certification:**  
New Development or Redevelopment (Circle One)  
Stormwater Permit # SL20019-0049  
NOI Permit # S-AR94-1433 KSB113393

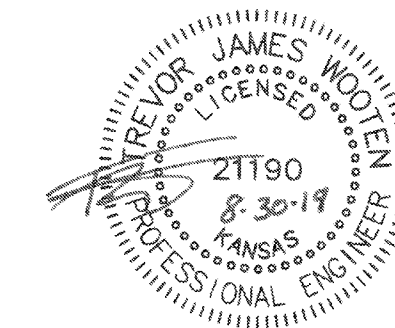
These construction plans were prepared in accordance with the current Stormwater management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

Site Area (Acres) = 1.31 Ac.  
Disturbed Area (Acres) = 1.31 Ac.  
Water Quality Treatment: Offsite BMP Program  
Downstream Channel Protection: N/A  
Detention: N/A  
The BMP used for this development is Offsite BMP Program

APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS ENGINEERING AND STORMWATER DIVISION

Engineering Wth Gatchney 9.4.19  
Stormwater Joe Hebble 9-10-19

NOTE TO CONTRACTORS  
Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions (on file and available at Wichita.gov).  
An approved copy of these plans signed by City staff are required on-site.



August 2019



Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0148  
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

**BENCHMARK:**  
 BM #1: Benchmark ~48' E and 20' N of the intersection of Douglas Ave. & Oak St. Elev. = 1298.97 NAVD88

BM #2: Cross cut on sidewalk, ~40' W and 190' N of the intersection of Douglas Ave. & Oak St. Elev. = 1299.82 NAVD88

All trench and inlet excavation areas from Sta. 0+00.0 to Sta. 0+44.4 & Sta. 0+90.0 to Sta. 2+33.1, Line 1 shall be backfilled with sand. The sand backfill shall be within two feet of existing grade and shall be water-jetted and vibrated during backfilling. All costs shall be paid for as L.F. "Fill, Sand (Flushed & Vibrated)".

\*6" & 10" pipe to be reviewed, approved, and inspected by MABCD. On the 6" & 10" line, only structures are included for inspection with this PPD.

Existing water line depth is unknown. Contractor shall include cost for lowering water line, if necessary for storm sewer construction.

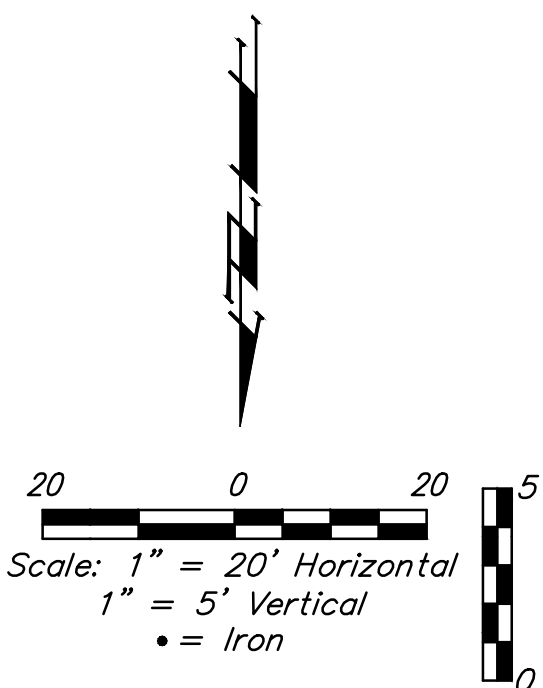
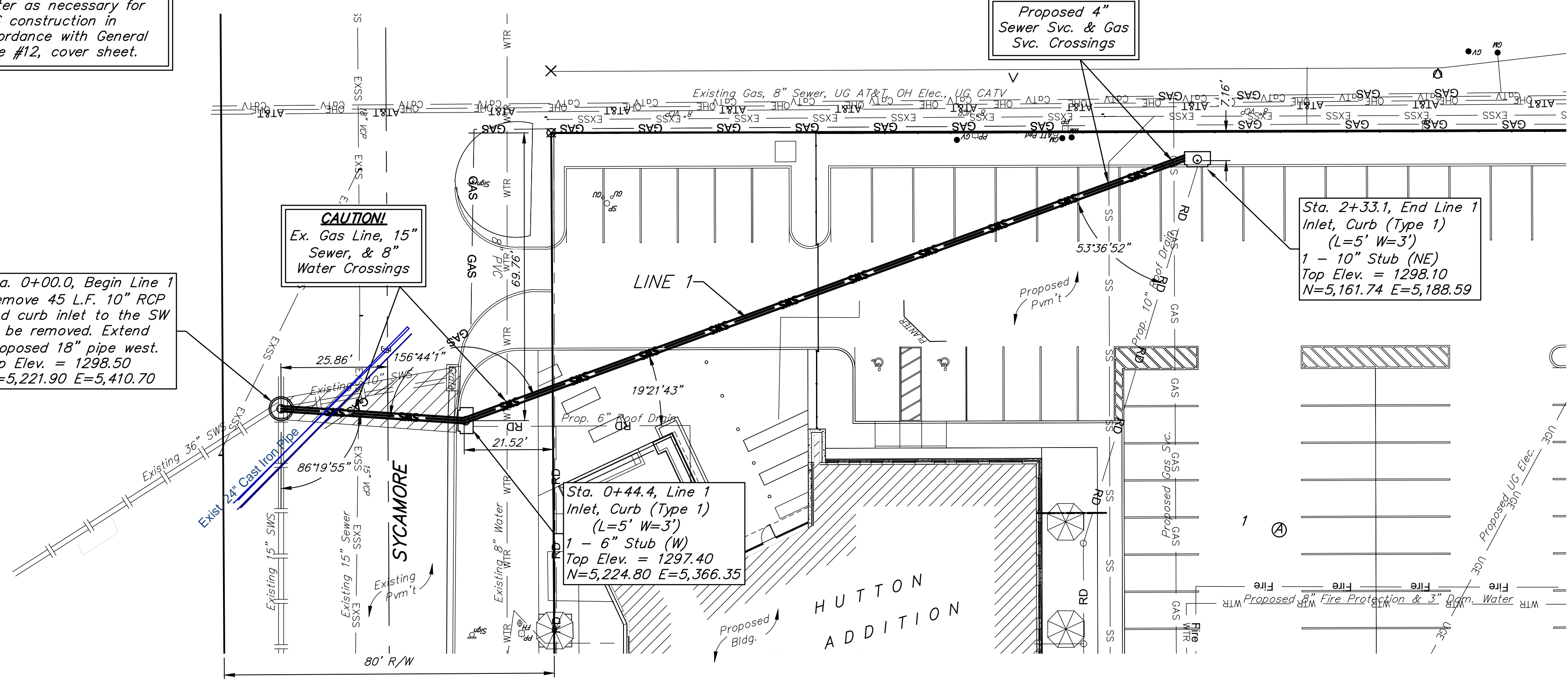
Saw cut, remove and replace existing concrete driveway, asphalt pavement, and curb & gutter as necessary for SWS construction in accordance with General Note #12, cover sheet.

Sta. 0+00.0, Begin Line 1  
 Remove 45 L.F. 10" RCP and curb inlet to the SW to be removed. Extend proposed 18" pipe west. Top Elev. = 1298.50  
 N=5,221.90 E=5,410.70

**CAUTION!**  
 Ex. Gas Line, 15" Sewer, & 8" Water Crossings

Sta. 0+44.4, Line 1 Inlet, Curb (Type 1) (L=5' W=3')  
 1 - 6" Stub (W)  
 Top Elev. = 1297.40  
 N=5,224.80 E=5,366.35

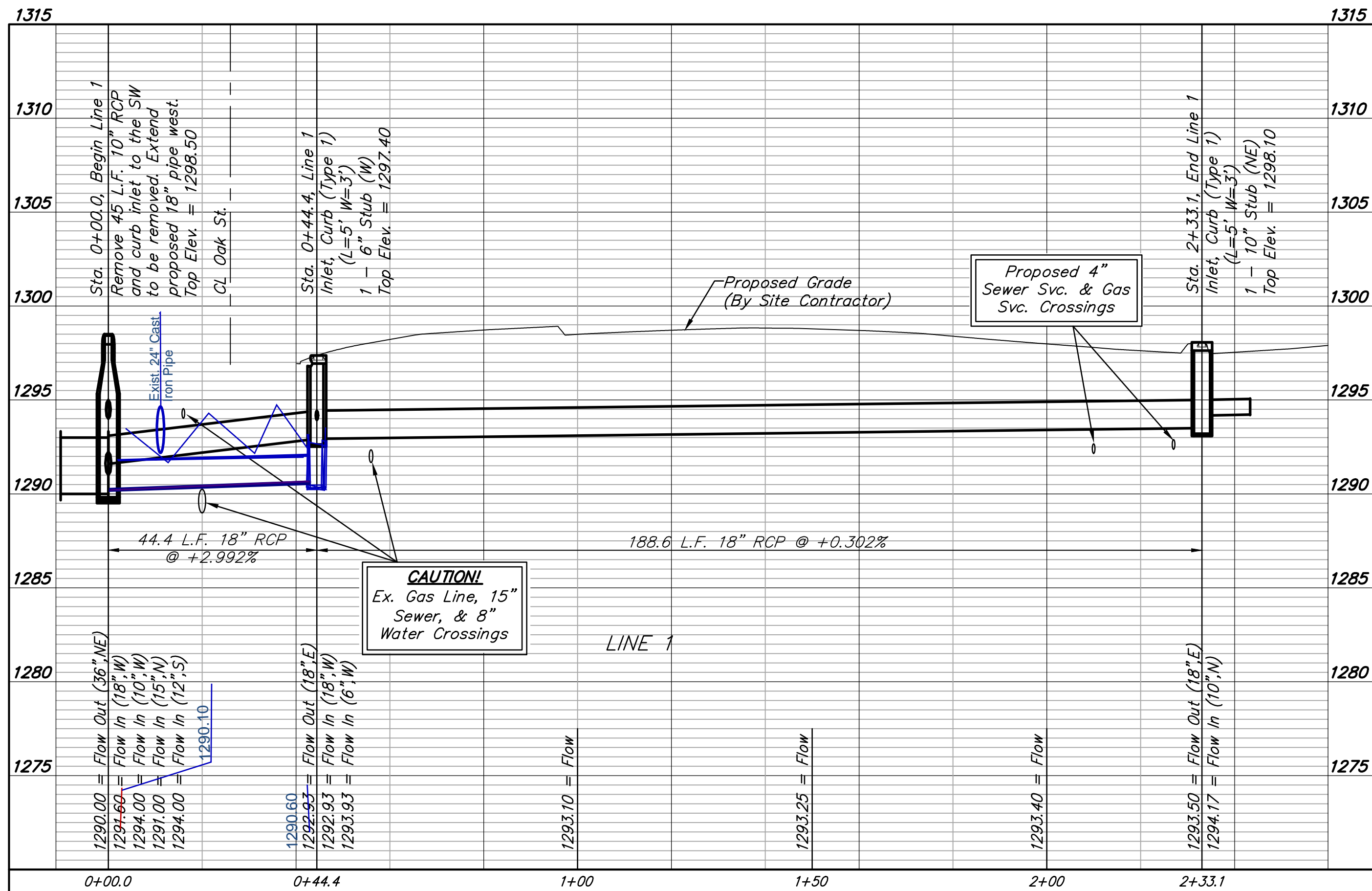
Sta. 2+33.1, End Line 1 Inlet, Curb (Type 1) (L=5' W=3')  
 1 - 10" Stub (NE)  
 Top Elev. = 1298.10  
 N=5,161.74 E=5,188.59

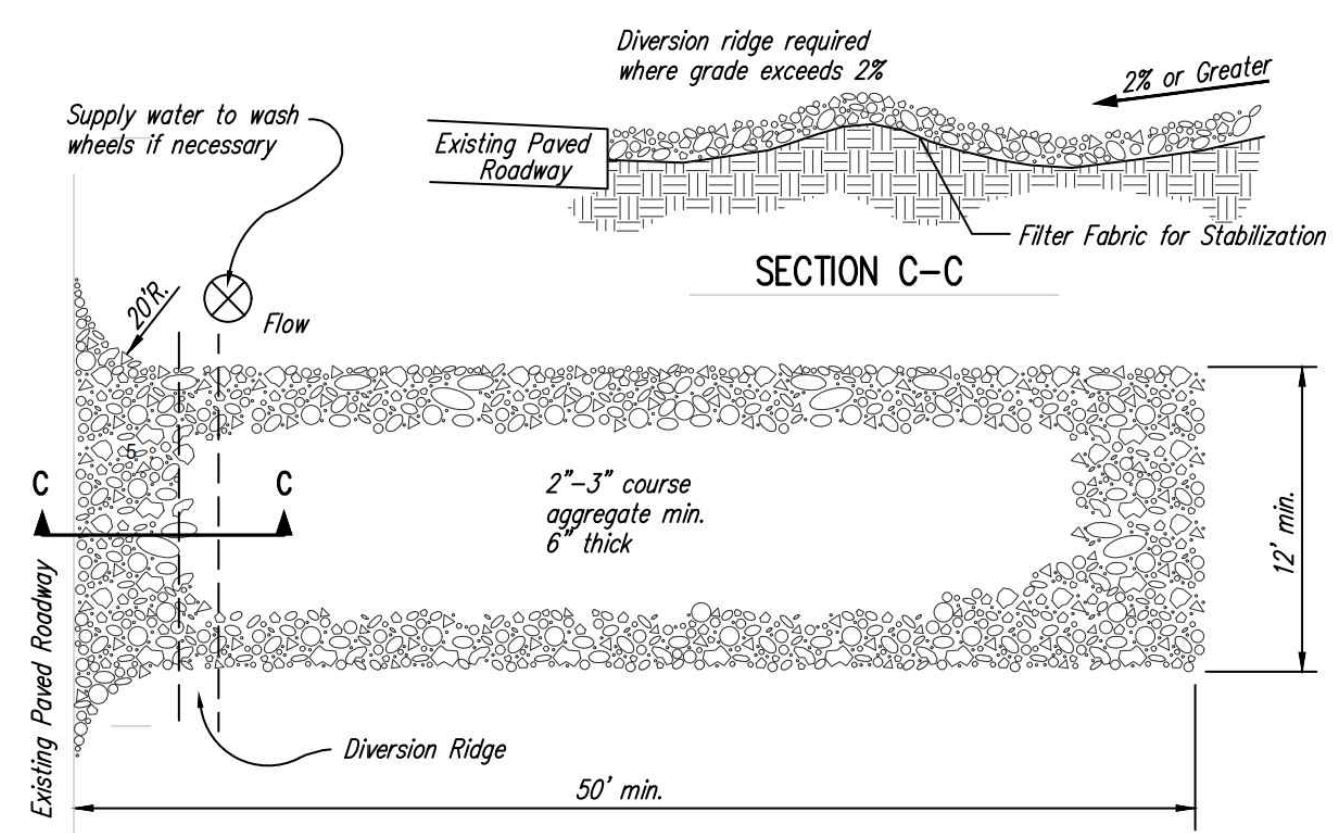
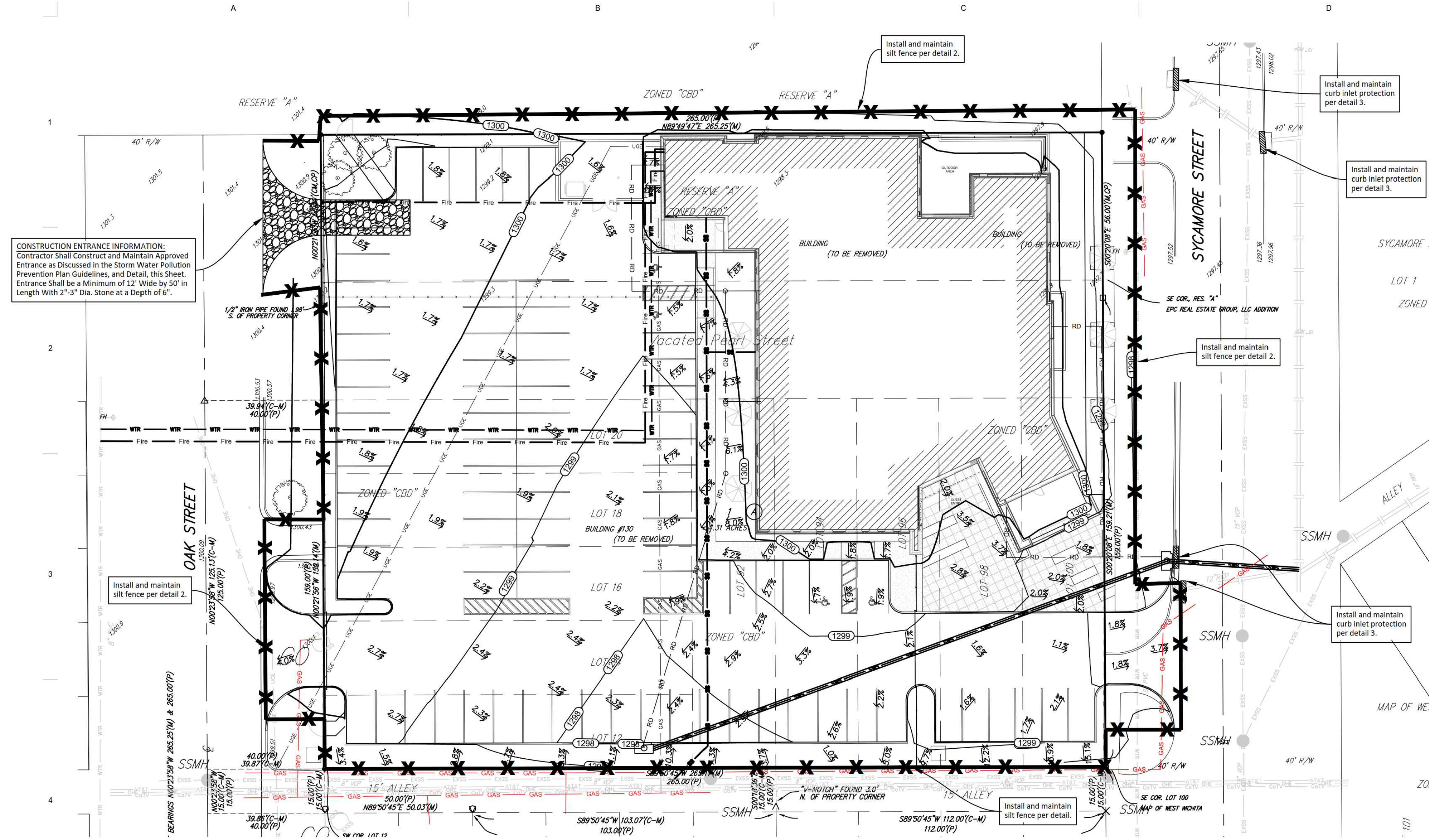


Contractor to verify depth and location of existing utilities. Contractor to relocate any existing utilities as necessary for construction.

Entire site is covered by building and pavement, to be removed prior to SWS construction by site contractor.

**DEPTH UNKNOWN**  
 Contractor to Verify Depth & Location of Existing SWS Prior to Construction.



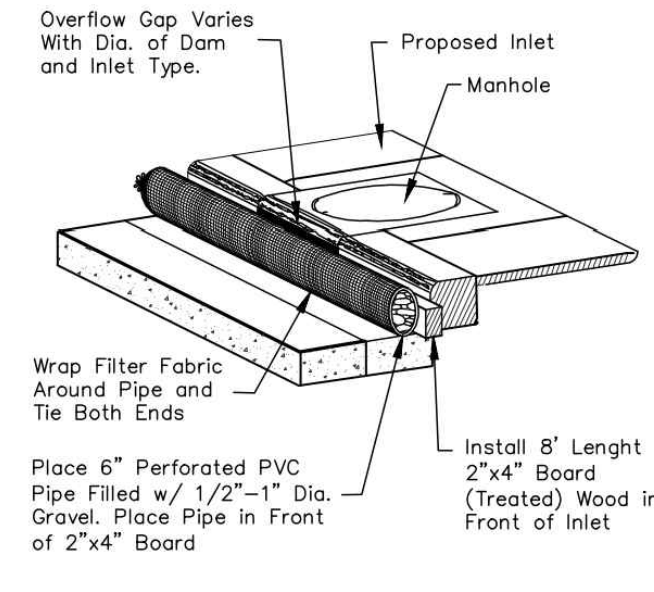


- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
  4. DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

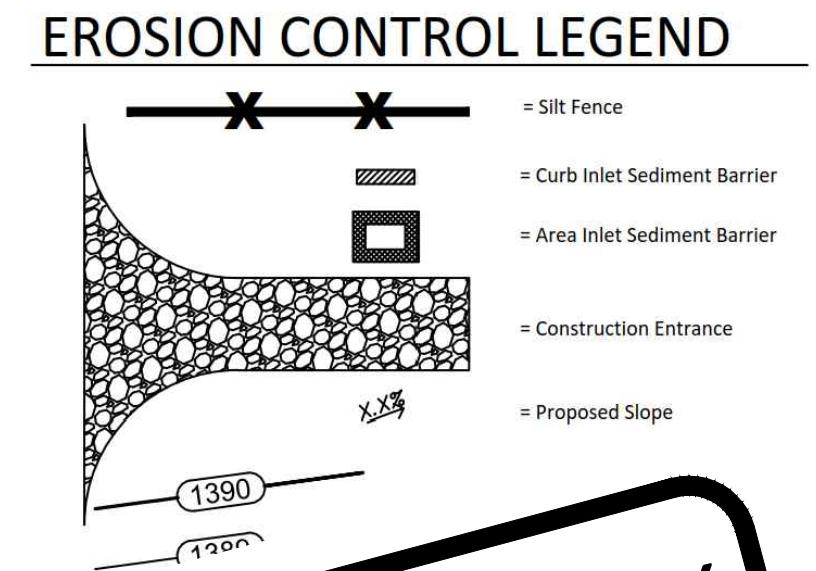
**1 STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**2 SILT FENCE DETAIL**  
NOT TO SCALE



**3 TYPE 1 INLET PROTECTION**  
NOT TO SCALE



**FOR REFERENCE ONLY**  
**NOT TO SCALE**

**LEGAL DESCRIPTION**

Lot 1, Block A, Hutton Addition, Wichita, Kansas.

**SITE INFORMATION**

Total Area:	±57,060.23 sq. ft. (1.31 acres)
Disturbed Area:	±64,907.66 sq. ft. (1.49 acres)
Impervious Area, pre-constr:	±38,234.44 sq. ft. (0.88 acres)
Impervious Area, post-constr:	±50,531.85 sq. ft. (1.16 acres)

**BENCHMARKS**

- Site Benchmark - 1  
"X" chiseled on top of curb  
Elevation = 1298.01 (NAVD 88)
- Site Benchmark - 2  
"X" chiseled on top of curb  
Elevation = 9XX.XX (NAVD 88)

**KANSAS ONE CALL**

Contractor shall be required to provide notice to Kansas One Call at 287-2470 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.  
Kansas One Call 1-800-DIG-SAFE

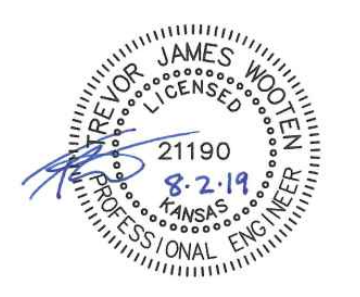
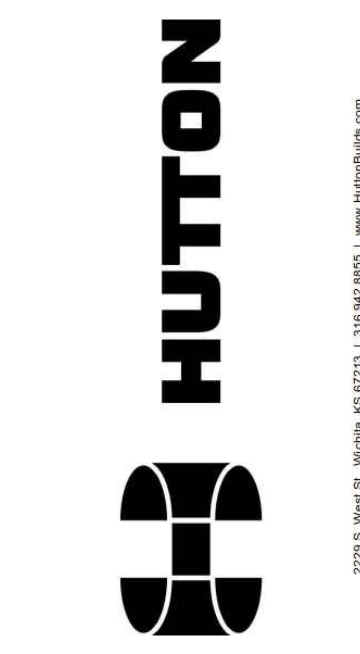
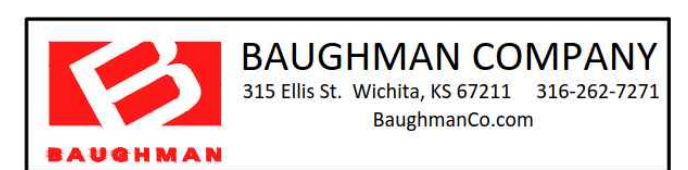
**UTILITY CONTACTS**

The Contractor must notify the following in case of an emergency:

Kansas Gas Service (Gas)	1-888-482-4950
Black Hills Energy (Gas)	1-800-303-0357
Westar Energy (Electric)	383-8650
Cox Communications (Telecommunication)	262-4270
AT&T (Telecommunication)	268-2759
City of Wichita Water Dept. (Water)	268-4563
	or 268-4908
City of Wichita Sewer Maint. (San. Sewer)	268-4024
	or 262-6000
City of Wichita Storm Sewer Maint. (Storm Sewer)	268-4090
City of Wichita Traffic Maint. (Traf. Control)	268-4034
	or 268-4203
Conoco Pipeline Co. (Petroleum)	1-800-231-2551
Williams Pipeline Co. (Petroleum)	529-6600
	or 1-800-324-9696
Phillips Pipeline Co. (Petroleum)	1-800-766-8230

**EROSION CONTROL NOTES**

1. No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
2. All exposed areas shall be seeded as specified within 14 days of final GRADING. Seed is to include straw mulch, crimped in place per industry standards.
3. Should construction stop for longer than 14 days, the site shall be seeded as specified.
4. Maintain erosion control measures after each rain and at least once a week.
5. This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
6. Contractor shall comply with all state and local ordinances that apply.
7. Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
8. Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
9. If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
10. See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
11. This SWPPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
12. ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
13. An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.



ALL WORK SHOWN ON THIS DRAWING IS THE EXCLUSIVE PROPERTY OF HUTTON CONSTRUCTION CORPORATION AND IS NOT TO BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF HUTTON CONSTRUCTION CORPORATION.

Build Project Number: 182001  
Design Project Number: DS-18150

**HUTTON CORPORATION**  
**NEW HEADQUARTERS**  
111 N. Sycamore  
Wichita, KS 67203

Issue: **UNDERSLAB PACKAGE**  
Date: **08.02.19**

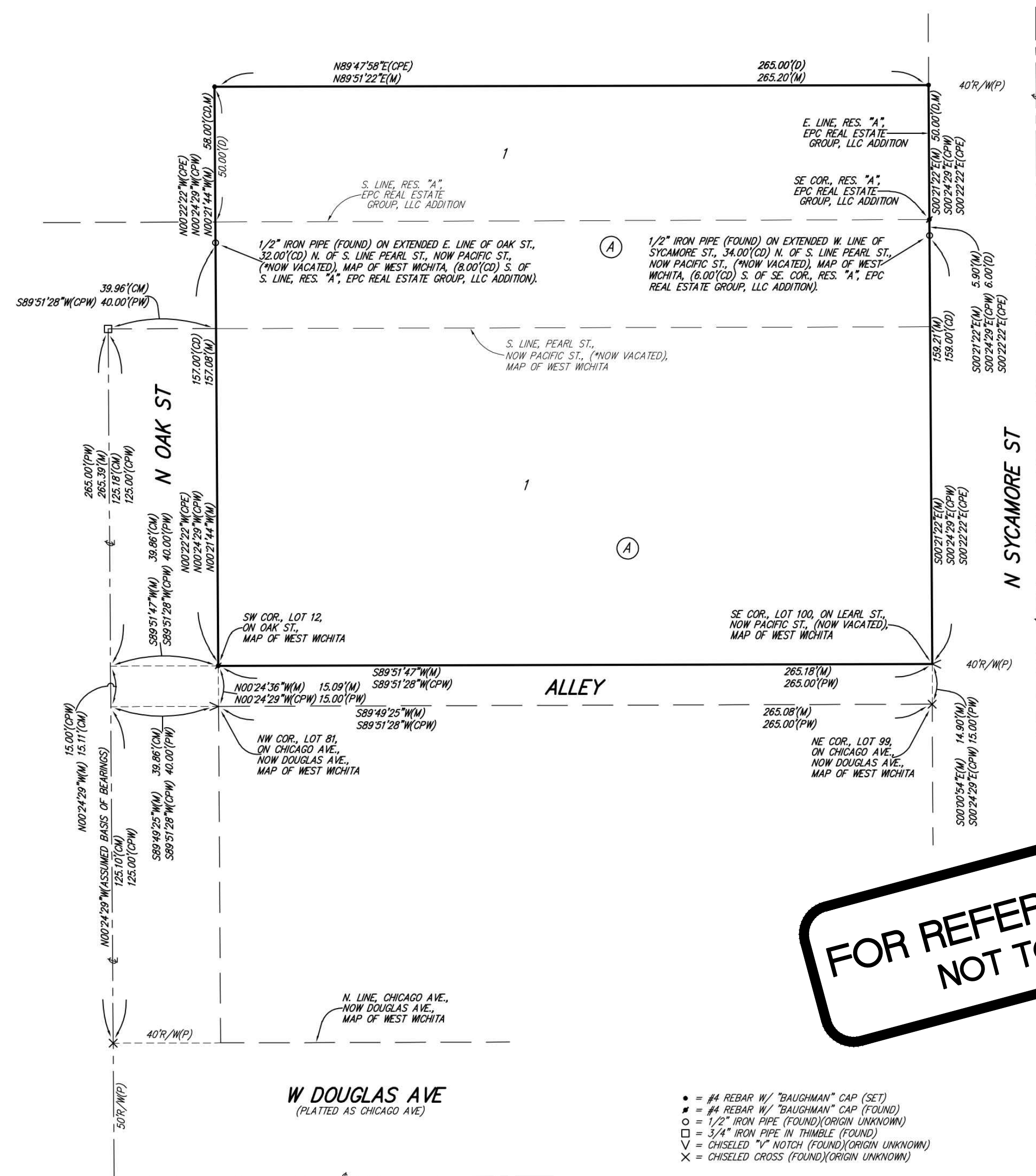
**REVISIONS**

#	Description	Date

**C3.00**  
Erosion Control  
Plan

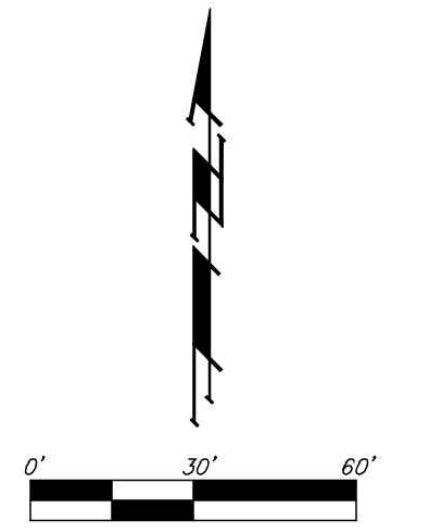
# HUTTON ADDITION

## WICHITA, SEDGWICK COUNTY, KANSAS



**FOR REFERENCE ONLY  
NOT TO SCALE**

- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
  - = #4 REBAR W/ "BAUGHMAN" CAP (FOUND)
  - = 1/2" IRON PIPE (FOUND)(ORIGIN UNKNOWN)
  - = 3/4" IRON PIPE IN THIMBLE (FOUND)
  - V = CHISELED "X" NOTCH (FOUND)(ORIGIN UNKNOWN)
  - X = CHISELED CROSS (FOUND)(ORIGIN UNKNOWN)
- (M) = MEASURED  
(D) = DESCRIBED  
(CM) = CALCULATED FROM MEASURED INFO.  
(CD) = CALCULATED FROM DESCRIBED INFO.  
(PW) = PLATTED INFO. FROM MAP OF WEST WICHITA  
(CPW) = CALCULATED INFO. FROM MAP OF WEST WICHITA  
(CPE) = CALCULATED INFO. FROM EPC REAL ESTATE GROUP, LLC ADDITION



\* NOTE:  
PEARL STREET VACATED BY ORDINANCE NO. 10-771 ADOPTED JUNE 30TH, 1930.

State of Kansas) SS We, Baughman Company, P.A., Surveyors in Sedgwick County) do hereby certify that we have surveyed and platted "HUTTON ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of the property surveyed, described as and being a replat of all of Lots 12, 14, 16, 18, and 20, on Oak Street, and Lots 92, 94, 96, 98, and 100, on Pearl Street, now Pacific Street, all in West Wichita Addition, Sedgwick County, Kansas, together with the South half of vacated Pearl Street, now Pacific Street, adjoining said lots on the North, except the North 6 feet of the South half of said street, TOGETHER with the North 6 feet of the South One-Half of vacated Pearl Street now Pacific Street, beginning with the West line of Sycamore Street and running West to the East line of Oak Street in the City of Wichita, Sedgwick County, Kansas; said South One-Half of vacated Pearl Street now Pacific Street adjoining Lots 92, 94, 96, 98 and 100, Pearl now Pacific Street and Lot 20, Oak Street, in West Wichita, Sedgwick County, Kansas; said Pearl Street (now Pacific Street) being vacated by City Ordinance No. 10-771 dated June 30, 1930, and TOGETHER with the south 50 feet of the east 265 feet of Reserve A, EPC Real Estate Group, LLC Addition, an addition to Wichita, Sedgwick County, Kansas recorded April 19, 2019, as Document No. 29842325.

Existing public easements, building setback lines, dedications, and access controls, if any, being vacated by virtue of K.S.A. 12-512b, as amended.

Baughman Company, P.A.

Michael G. Conrey, Surveyor

Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be platted into a Lot and a Block, to be known as "HUTTON ADDITION", Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. No signs, light poles, private drainage systems, masonry fences, masonry trash enclosures or other structures shall be located within public utility easements unless a Use of Easement Permit is obtained from the City of Wichita Public Works & Utilities Department.

Hutton Corporation, a Kansas corporation

Benjamin M. Hutton, Chief Executive Officer

State of Kansas) SS The foregoing instrument acknowledged before me, this \_\_\_\_\_ day of \_\_\_\_\_, 2019, by Benjamin M. Hutton, Chief Executive Officer of Hutton Corporation, a Kansas corporation, on behalf of the corporation.

\_\_\_\_\_, Notary Public

My App't. Exp. \_\_\_\_\_

This plat of "HUTTON ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Wichita-Sedgwick County Metropolitan Area Planning Commission

\_\_\_\_\_, Chair  
Cindy Miles

\_\_\_\_\_, Secretary  
Dale Miller

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_, Mayor  
Jeff Longwell

\_\_\_\_\_, City Clerk  
Karen Sublett

Reviewed in accordance with K.S.A. 58-2005 on this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Tricia L. Robello, P.S. #1246  
Deputy County Surveyor  
Sedgwick County, Kansas

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Kelly B. Arnold, County Clerk

State of Kansas) SS This is to certify that this plat has been filed for record in the office of the Register of Deeds, this \_\_\_\_\_ day of \_\_\_\_\_, 2019 at \_\_\_\_\_ o'clock \_\_\_\_\_ M; and is duly recorded.

\_\_\_\_\_, Register of Deeds  
Tonya Buckingham

\_\_\_\_\_, Deputy  
Kenly Zehring