

GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

AT&T 1-800-246-8464
Black Hills Energy 1-800-694-8989
City of Wichita Water & Sewer 1-316-219-8921
City of Wichita Stormwater 1-316-268-4090
City of Wichita Traffic 1-316-268-4034
Cox Communications 1-888-249-3530
Kansas Gas Service 1-888-482-4950
Westar Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match final grades by the contractor.
- The Contractor shall notify the inspecting engineer and Dawnita Reinhardt at 316-650-0740 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.

- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, at traffic@wichita.gov, before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.
- Any sidewalk, drive approach, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- City maintenance of storm sewer ends at the last structure in the easement or right-of-way.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top to the manhole.
- Geotechnical report available upon request.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractors expense.

Sheet Index:

1.0	Title Sheet
2.0	Grading Plan
3.0	Plan and Profile - Line 1
4.0	Erosion Control Plan
4.1	Standard Curb Inlet Details
4.2	Single-Double Drop Inlet Detail
4.3	Precast MH Detail
5.1-5.5	Erosion Control BMP Details
6.0	Plat (For Reference Only)



THIS SHEET HAS BEEN SIGNED, SEALED AND DATED DIGITALLY

STORM SEWER IMPROVEMENTS

to serve
Beau Monde Spa

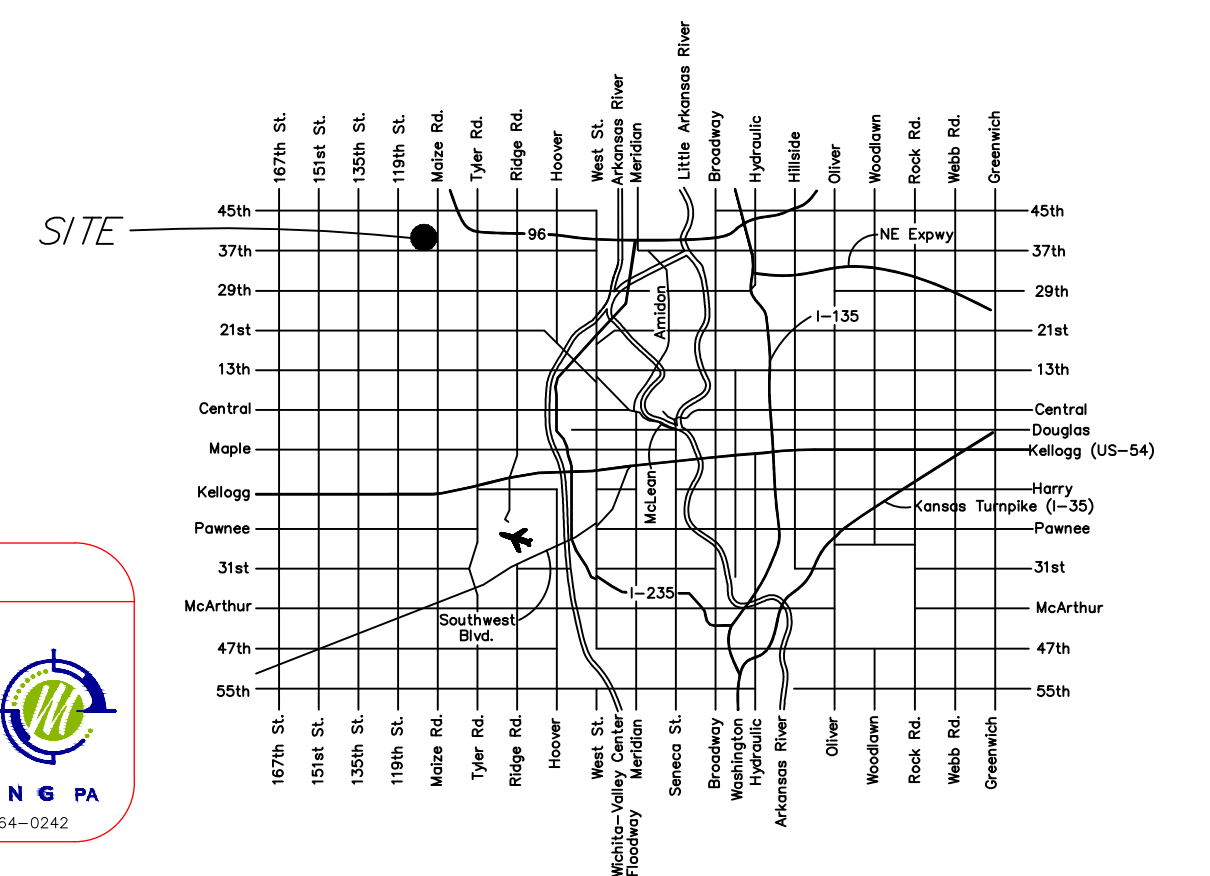
CITY OF WICHITA, KANSAS

Gary Janzen, P.E., City Engineer

2022 - 000775 PPD
Org Code: 56030970

3815 N Weston

AS BUILTS	
Contractor:	Project Inspector:
Miese Construction	Larry Gann
Fremar 10/02/2023	KEMILLER ENGINEERING PA 117 E. Lewis, Wichita, KS 67202 (316)264-0242

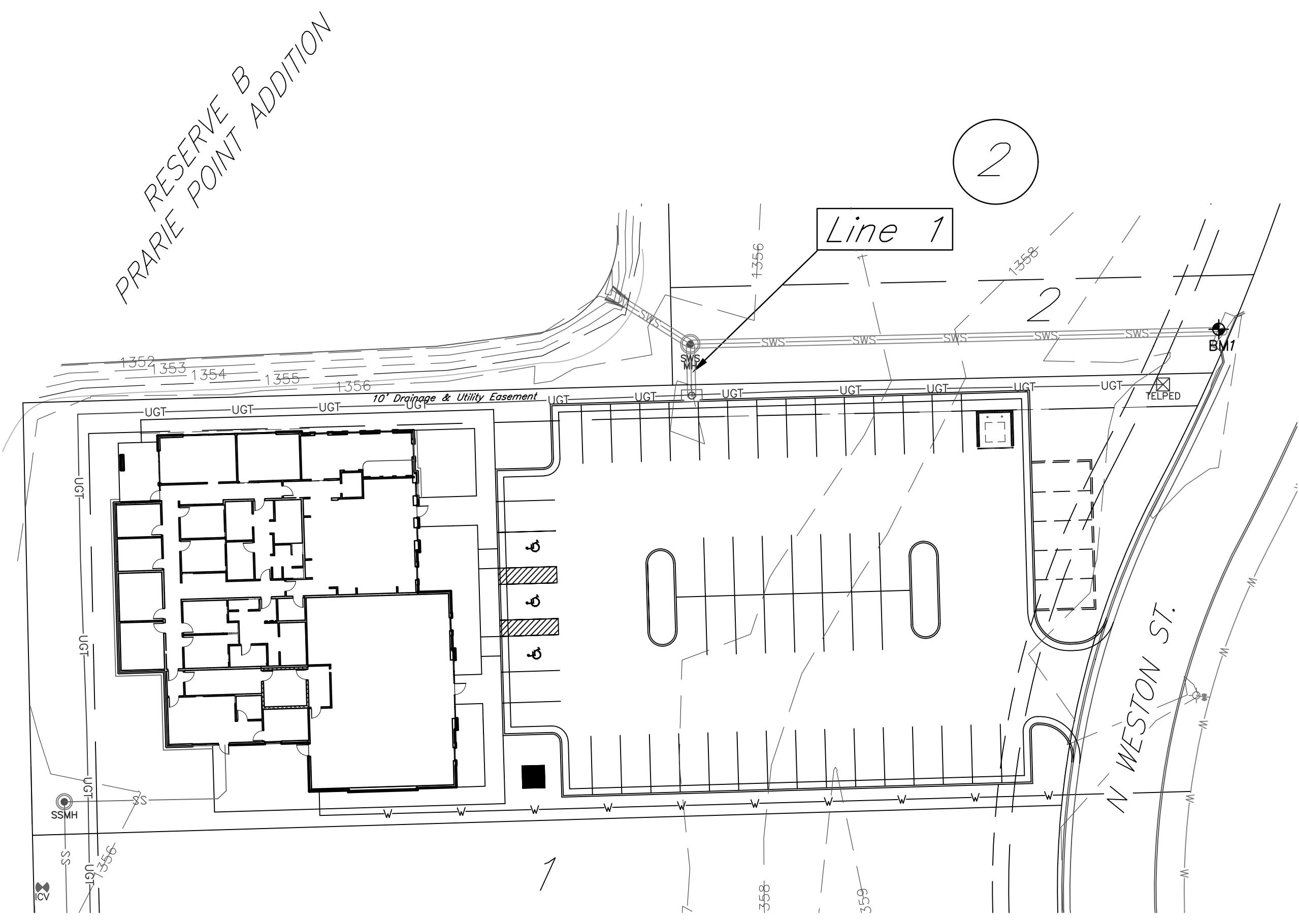


Vicinity Map

Benchmark:

BM1: Cross cut approx. 13.5' north and 2.1' east of northeast corner of Lot 1, Block 2, Hampton Square Addition Elevation=1357.14 (NAVD 88)

BM2: Square cut approx. 144.5' north and 50.20' east of northeast corner of Lot 1, Block 2, Hampton Square Addition Elevation=1357.91 (NAVD 88)



Stormwater Certification:
 New Development or Redevelopment (Circle One)
 Stormwater Permit # SWO2022-XXXXXX
 NOI Permit # S-AR58-0076 KSR120846
 These construction plans were prepared in accordance with the current Stormwater management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.
 Site Area (Acres) = 1.11
 Disturbed Area (Acres) = 1.11
 Water Quality Treatment: Offsite BMP Program
 Downstream Channel Protection: N/A
 Detention: Regional Pond
 The BMP used for this development is Offsite BMP

APPROVED AS NOTED
BY WICHITA PUBLIC WORKS ENGINEERING AND STORMWATER DIVISION

Engineering approved by Shawn Mellies on this day the 28th of October, 2022

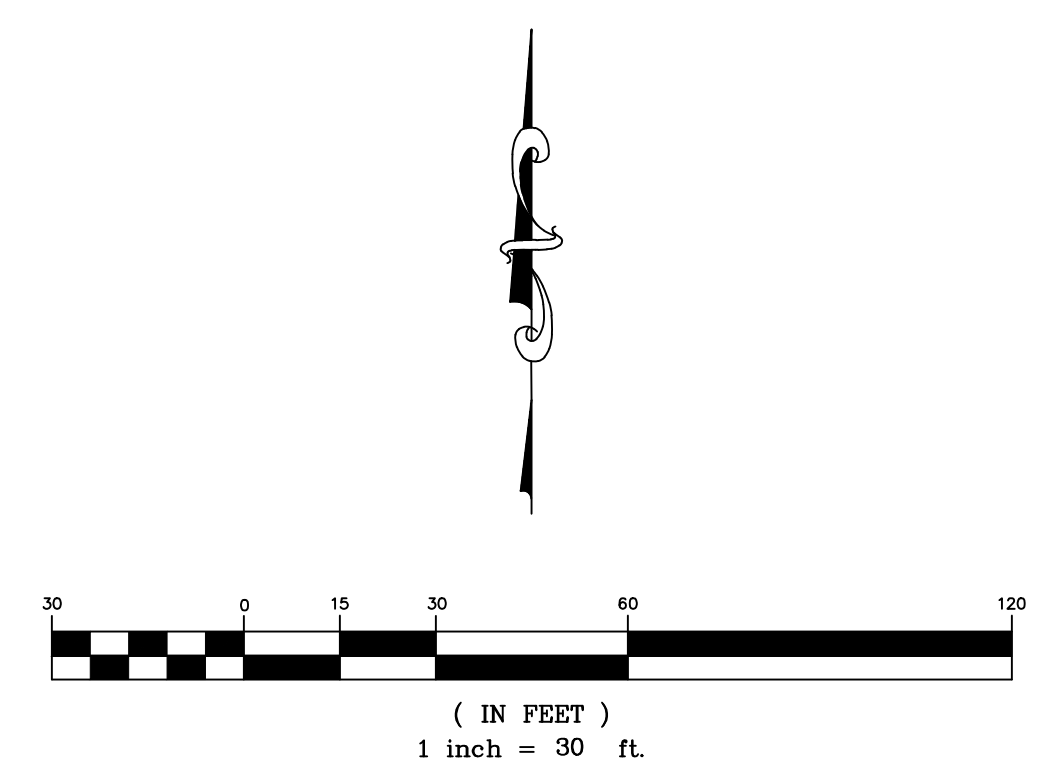
Stormwater approved by Joe Hickle on this day the 28th of October, 2022

NOTE TO CONTRACTORS

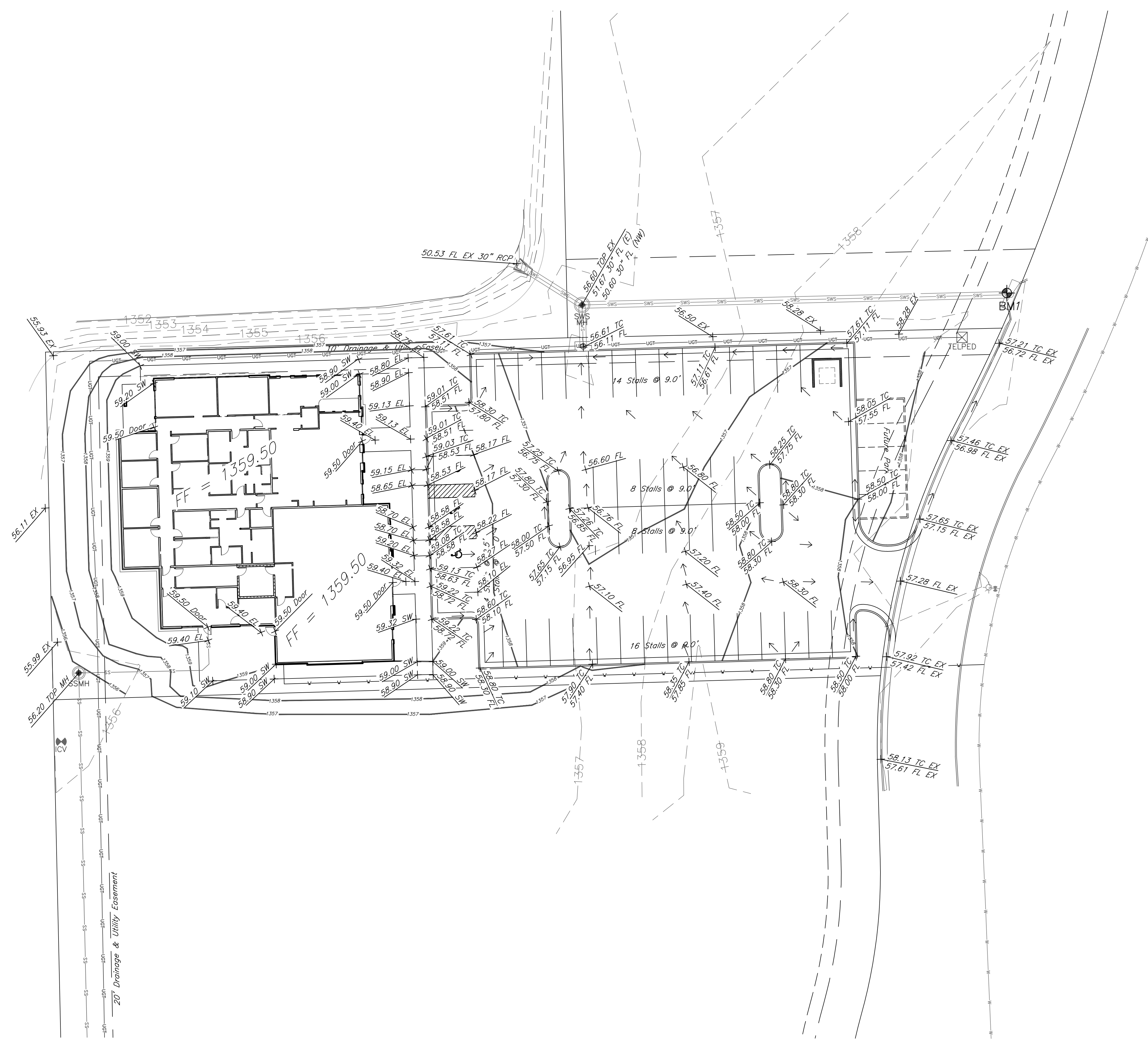
Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the State of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions (on file and available at Wichita.gov).

An approved copy of these plans signed by City staff are required on-site.

AUGUST, 2022



KEMILLER
ENGINEERING PA
117 E. Lewis, Wichita, KS 67202 (316)264-0242



Benchmark:

BM1: Cross cut approx. 13.5' north and 2.1' east of northeast corner of property
Elevation=1357.14 (NAVD 88)

BM2: Square cut approx. 144.5' north and 50.20' east of northeast corner of property
Elevation=1357.91 (NAVD 88)

Stormwater Certification:

New Development or Redevelopment (Circle One)

Stormwater Permit # N/A

NOI Permit # S-AR58-0076
KSR120846

These construction plans were prepared in accordance with the current Stormwater management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

Site Area (Acres) = 1.11 Acres

Disturbed Area (Acres) = 1.11 Acres

Water Quality Treatment: N/A

Downstream Channel Protection: N/A

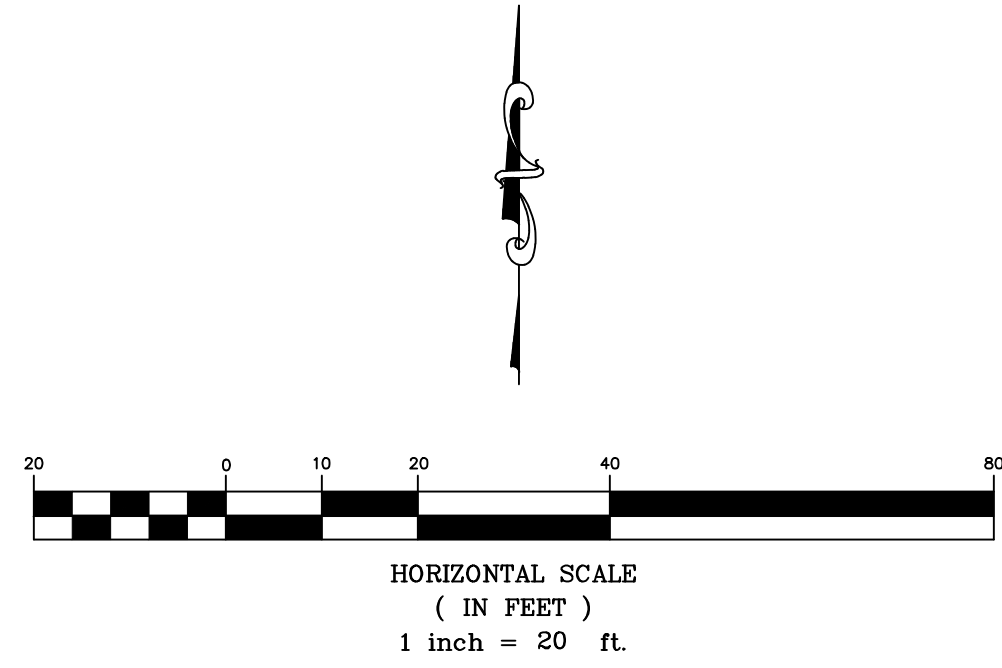
Detention: Regional Pond

The BMP used for this development is Offsite BMP

Minimum Pad Elevation = 1359.50 NAVD 88

LEGAL DESCRIPTION:

The North 133.15 Feet of Lot 1, Block 2, Hampton Square Second Addition.



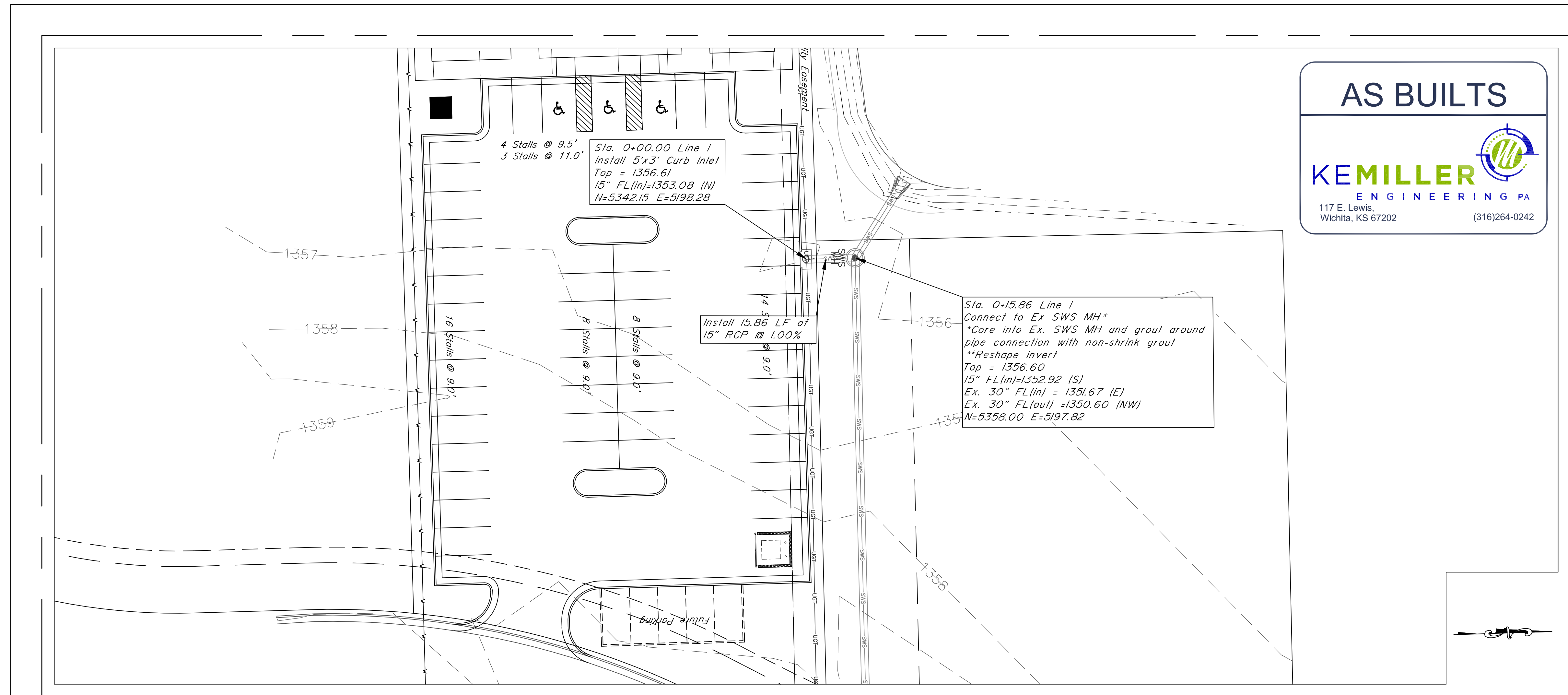
THIS SHEET HAS BEEN SIGNED, SEALED AND DATED DIGITALLY

Beau Monde Spa - West
Beau Monde Spa West
3815 N Weston St

PROJECT NO.	22-0017
ISSUE:	DATE:
PERMIT SET	12 AUG 22
BID SET	09 SEP 22

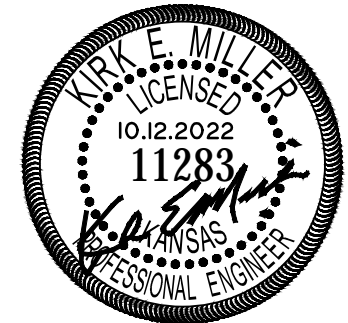
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GRADING PLAN
C2.0



AS BUILTS

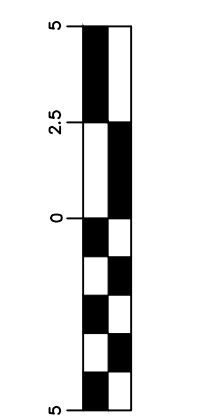
KEMILLER
ENGINEERING PA
117 E. Lewis,
Wichita, KS 67202 (316)264-0242



THIS SHEET HAS BEEN
SIGNED, SEALED AND
DATED DIGITALLY

Note:
Contractor is to backfill under
pavement per City of Wichita
requirements

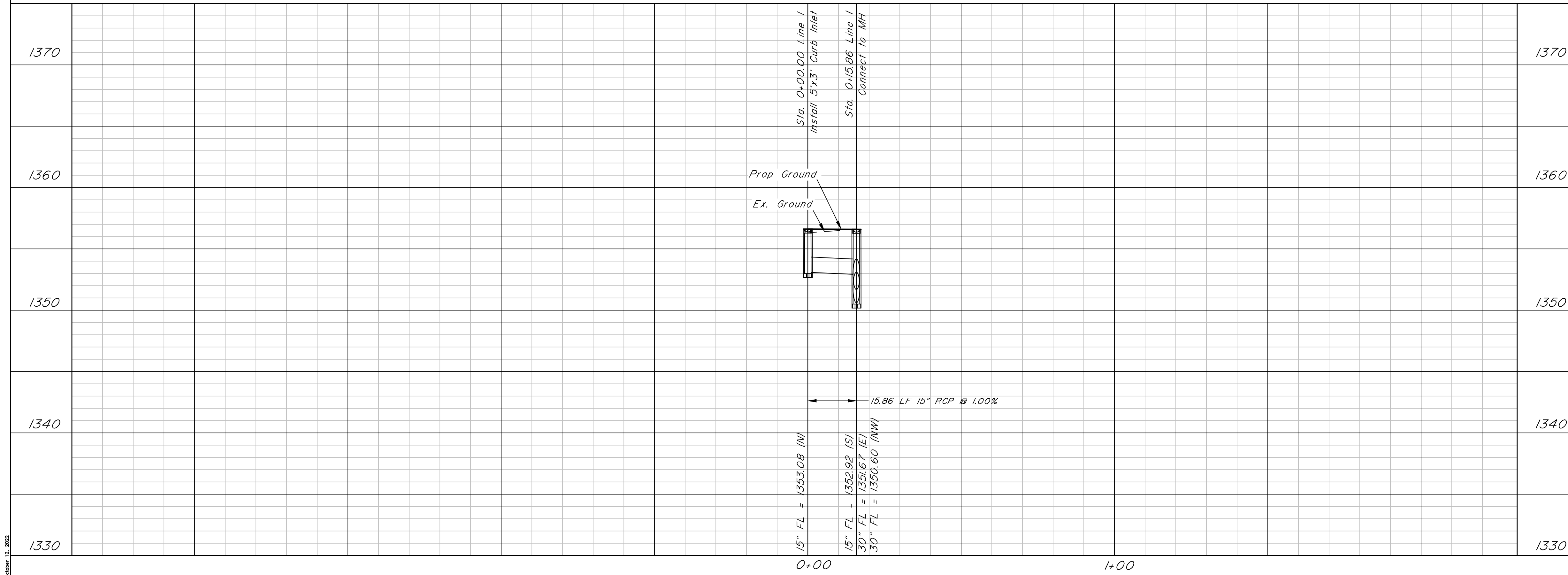
Contractor to verify horizontal
and vertical location of all
utilities prior to construction.



VERTICAL SCALE
(IN FEET)
1 inch = 5 ft.



HORIZONTAL SCALE
(IN FEET)
1 inch = 20 ft.



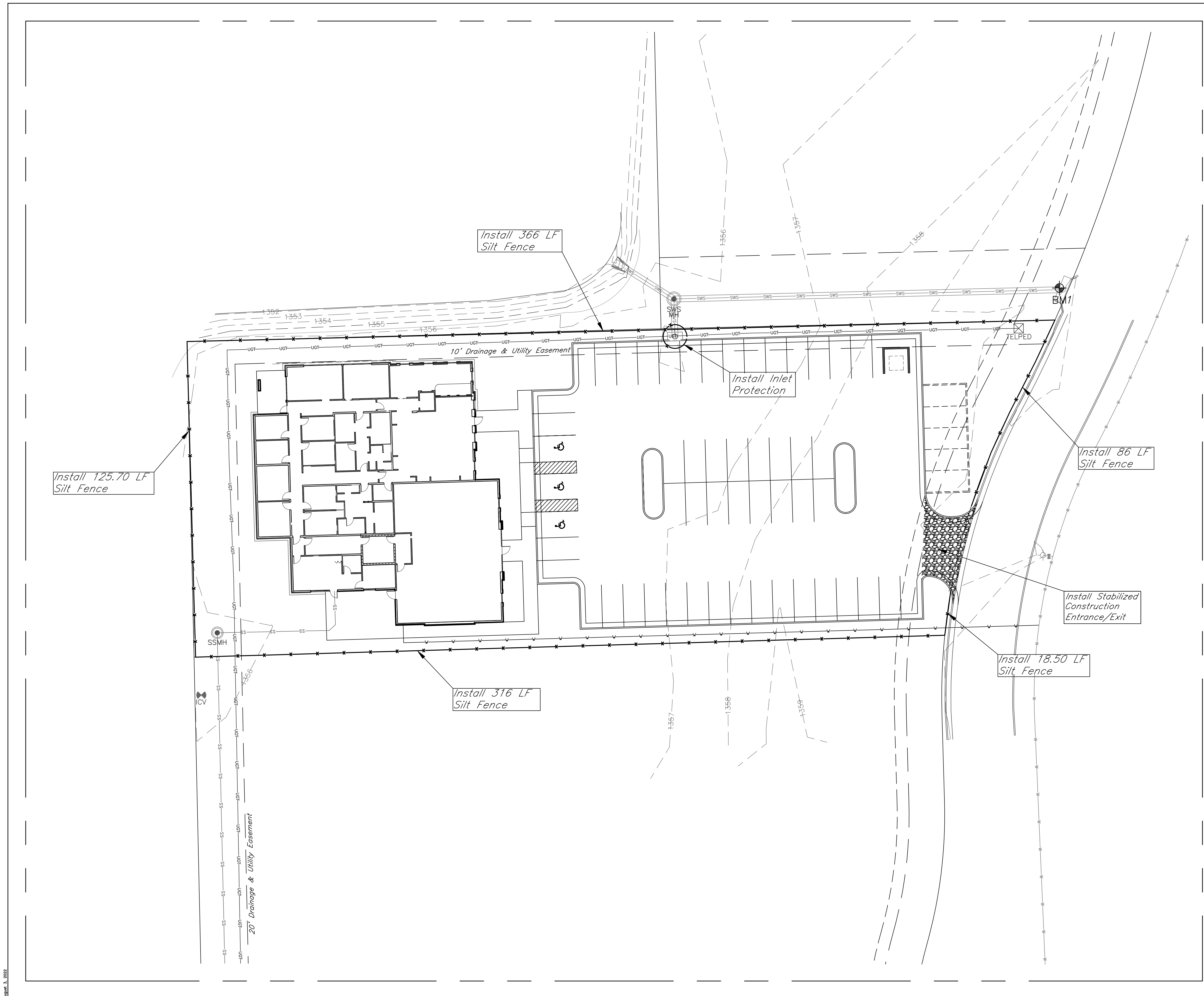
Beau Monde Spa
SWS Plan and Profile - Line 1
Wichita, Kansas

PROJECT NUMBER
2022 - 000775 PPD

	KEM NO. 21167	FILE	DATE 09/2022	SHEET 3.0
	DESIGN KM	DRAWN PG	REVISED 10/12/22	

117 E. Lewis, Wichita, KS 67202 (316)264-0242

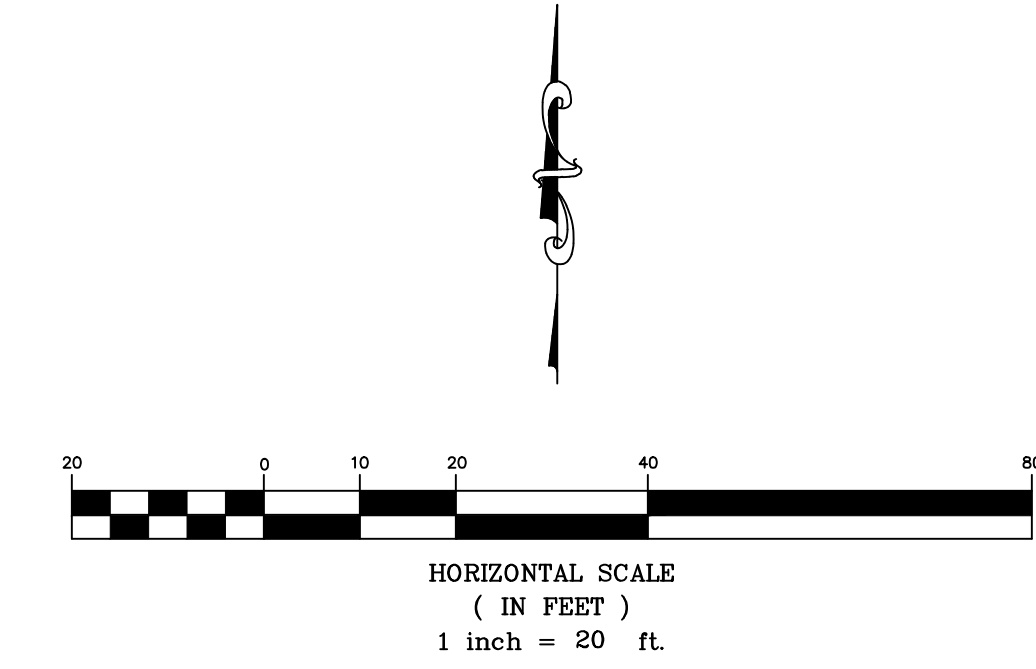
October 12, 2022



- General Notes:**
1. The BMP's shown on this sheet are considered minimum standards. Whenever sediment enters the streets, storm sewers, ditches, or ponds, contractor will install additional BMP's, as needed, to correct the problem.
 2. The soil erosion BMP's shown hereon must be in place at all times during construction until such time as the site is re-established with paving or grass.
 3. Back of curb protection can include hay bale, silt fence, Curlex barrier, or approved alternate as shown on BMP standard details. This BMP must remain in place until the area between the curb and right-of-way line has been permanently stabilized.
 4. The General Contractor is responsible for the installation and maintenance per the prevention maintenance plan.
 5. Concrete trucks will be permitted to wash out only at approved locations, then maintain and clean up as conditions require, by contractor. No hazardous materials are expected to be encountered. Any spills (diesel, fuel, oil, etc.) will be cleaned up and removed immediately. Portable toilets will be supplied and maintained at various sites along the project. Disposal of sewage will be handled by a contracting firm specializing in this activity.
 6. The above mentioned storm water prevention methods will be monitored daily and maintained as required. A weekly erosion control log will be posted in the job trailer onsite, and updated weekly. Site inspections are required within 24 hours after a precipitation event of 0.5" or greater.
 7. Stabilize disturbed areas within 14 days after soil disturbing activities cease. Stabilize with mulch or similarly effective BMP's, in addition to seeding.

- LEGEND:**
- Flow Direction
 - ⊙ Inlet Protection - to be provided at all inlets subject to silt laden runoff.
 - Ditch Check
 - Temporary Seeding and Matting.
 - Silt Fence or Hay Bale Barrier - to be installed along property lines where runoff from construction site can run onto other properties.
 - Stabilized Construction Entrance - to be used at all locations where vehicles or equipment enter or exit property.
 - Back of Curb Protection - to be installed whenever curb is backfilled to less than 3 inches from top and disturbed earth exists adjacent thereto. (See City Standard Details.)

Legal Description:
Part of Lot 1, Block 2, Hampton Square Second Addition.



Beau Monde Spa
Erosion Control Plan
Wichita, Kansas

	PROJECT NUMBER			SHEET 4.0
	KEM NO. 22101	FILE	DATE 07/2022	
117 E. Lewis, Wichita, KS 67202 (316)264-0242	DESIGN PG	DRAWN PG	REVISED	

FINAL PLAT HAMPTON SQUARE SECOND ADDITION AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

CERTIFICATE OF SURVEY

I, Gregory J. Allison, a registered land surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and plating of "HAMPTON SQUARE SECOND ADDITION", an addition to Wichita, Sedgwick County, Kansas, into Lots, Blocks, Reserves, and Streets, the same being accurately set forth in the accompanying plat and described herein:

A replat of Lots 1, 2, 3, 4, 5, 7, 8, and 9, Block 1, Hampton Square Addition, Wichita, Sedgwick County, Kansas.

All easements, rights-of-ways, building setbacks, and access controls, together with all other public dedications within the above described property, are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 25th day of May, 2011.

Gregory J. Allison
Gregory J. Allison, PE, LS #1257
MKEC Engineering Consultants, Inc.
411 North Webb Road
Wichita, Kansas 67206

OWNER'S CERTIFICATE

Know all men by these presents that the undersigned property owner of the land above set forth in the Registered Land Surveyor's Certificate, has caused the same to be surveyed and platted into Lots, Blocks, Reserves, and Streets the same to be known as "HAMPTON SQUARE SECOND ADDITION," an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of public sidewalks, utilities and drainage, as indicated on the accompanying plat are hereby granted to the public.

The streets are hereby dedicated to and for the use of the public.

All abutters rights of access to or from Maize Road over and across the east line of "HAMPTON SQUARE SECOND ADDITION," are hereby granted to the appropriate governing body, as indicated hereon. All abutters rights of access to or from 37th Street over and across the south line of "HAMPTON SQUARE SECOND ADDITION," are hereby granted to the appropriate governing body, as indicated hereon.

Reserves "A", "B", "C", "D", and "E" are platted for landscaping, irrigation, berming, monuments, signs, water features, and utilities confined by easement(s) or rights-of-way. Reserves "D" and "E" are also platted for the drainage. The Reserves shall be owned and maintained by the owner(s)/developer, and/or their successors, assigns, and/or a Lot Owner's Association.

A drainage plan has been developed for this plat. All drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater. Lots 3 and 5, Block 1, Lots 1, 2, 3, 4, 5, 6, 7, 8, and 9, Block 2, are required to adhere to the minimum pad elevations as depicted hereon the "Minimum Pad Elevations" table.

This plat shall conform to the recitals of Community Unit Plan DP-262.

Hampton Square, LLC, a Kansas limited liability company

Marvin L. Schellenberg, manager
Marvin L. Schellenberg, manager
Hampton Square LLC, a Kansas limited liability company

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This instrument was acknowledged before me on 25th day of May, 2011, by Marvin L. Schellenberg, manager of Hampton Square LLC, a Kansas limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Cynthia A. Womack
CYNTHIA A. WOMACK
Notary Public - State of Kansas
My Appt. Expires 2/7/2013

Cynthia A. Womack
Notary Public
My Term Expires: 2/6/2013
SW. cor., SE 1/4, Sec. 30,
T26S, R1W, 6th P.M.
Fnd. 1 1/2" Pipe

MORTGAGE CERTIFICATE

LEGACY Bank, holder of a mortgage on a portion of the above described property, does hereby consent to the plat of "HAMPTON SQUARE SECOND ADDITION."

Legacy Bank

Brad S. Yaeger, Executive Vice President
Brad Yaeger, Executive Vice President

This instrument was acknowledged before me on this 25th day of May, 2011, by Brad Yaeger, Executive Vice President, Legacy Bank.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Cynthia A. Womack
CYNTHIA A. WOMACK
Notary Public - State of Kansas
My Appt. Expires 2/7/2013

Cynthia A. Womack
Notary Public
My Term Expires: 2/6/2013

LOTS (inclusive)	BLOCK	ELEVATION NAVD 88
3 & 5	1	1359.5
1 - 9	2	1359.5

BENCH MARKS

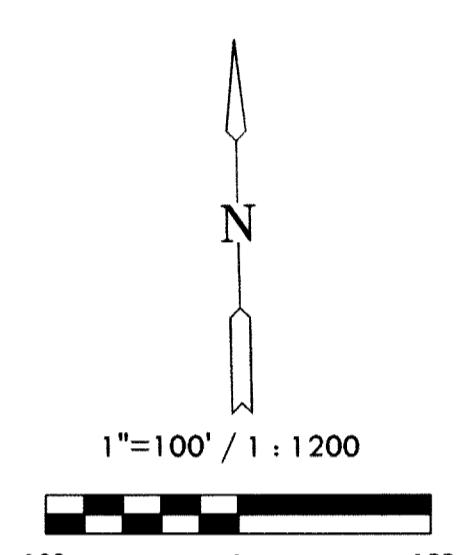
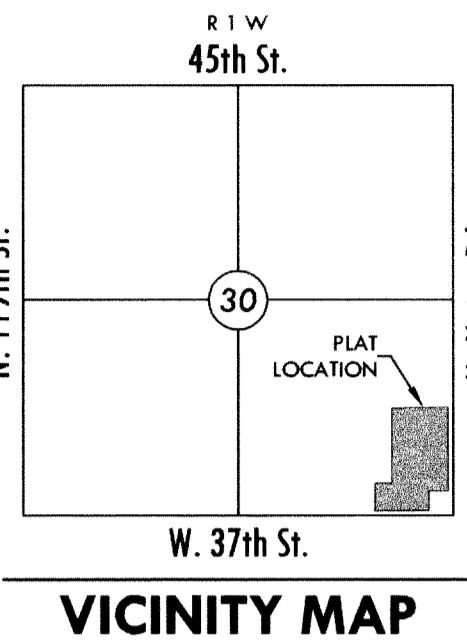
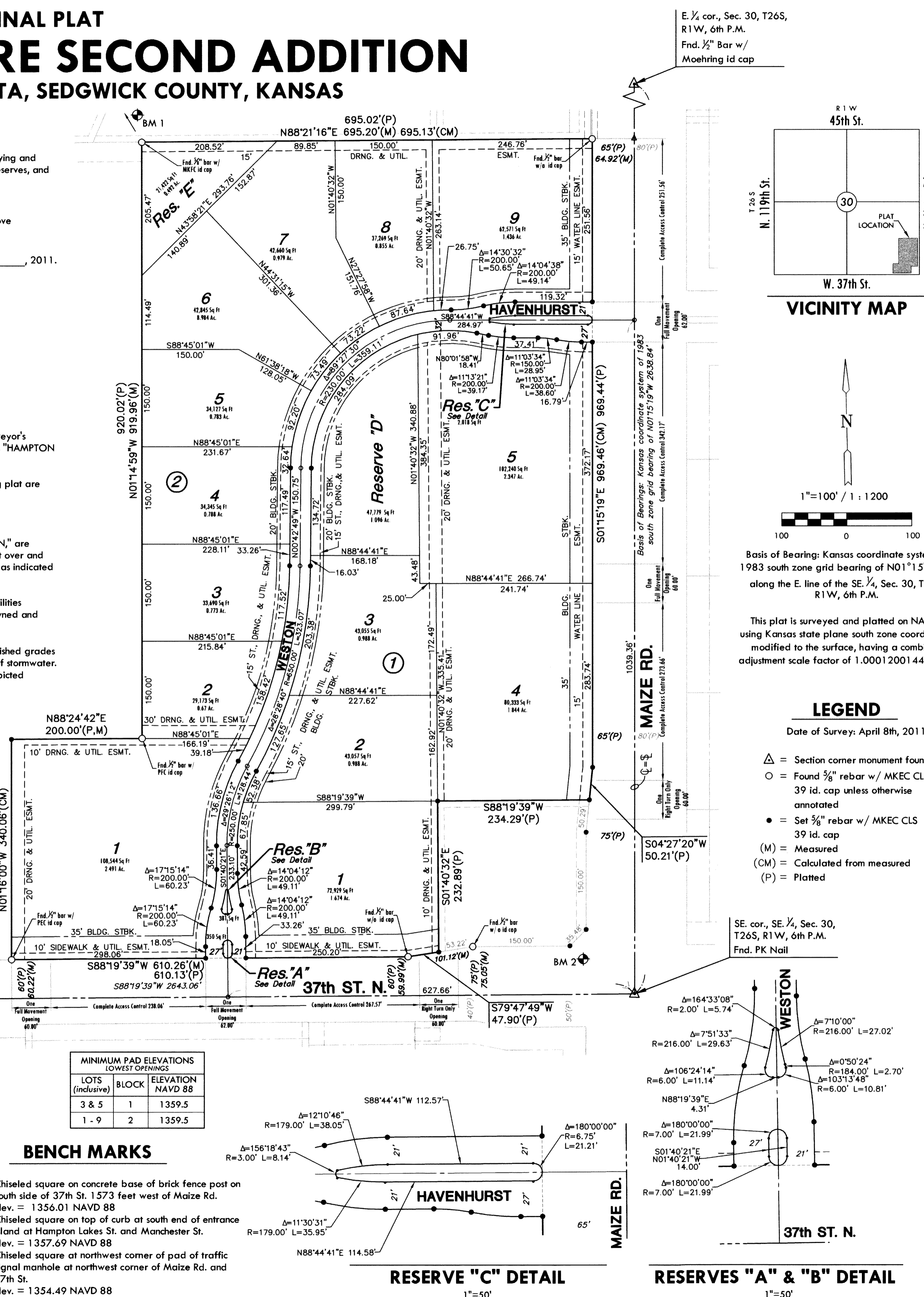
- BM 21-0 Chiseled square on concrete base of brick fence post on south side of 37th St. 1573 feet west of Maize Rd. Elev. = 1356.01 NAVD 88
- BM 1 Chiseled square on top of curb at south end of entrance island at Hampton Lakes St. and Manchester St. Elev. = 1357.69 NAVD 88
- BM 2 Chiseled square at northwest corner of pad of traffic signal manhole at northwest corner of Maize Rd. and 37th St. Elev. = 1354.49 NAVD 88

RESERVE "C" DETAIL

1"=50'

RESERVES "A" & "B" DETAIL

1"=50'



Basis of Bearing: Kansas coordinate system of 1983 south zone grid bearing of N01°15'19"W along the E. line of the SE 1/4, Sec. 30, T26S, R1W, 6th P.M.

This plat is surveyed and platted on NAD83 using Kansas state plane south zone coordinates, modified to the surface, having a combined adjustment scale factor of 1.000120014401728

- ### LEGEND
- Date of Survey: April 8th, 2011
- △ = Section corner monument found
 - = Found 3/8" rebar w/ MKEC CLS 39 id. cap unless otherwise annotated
 - = Set 3/8" rebar w/ MKEC CLS 39 id. cap
 - (M) = Measured
 - (CM) = Calculated from measured
 - (P) = Platted

PLANNING COMMISSION CERTIFICATE

This plat of "HAMPTON SQUARE SECOND ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 24th day of May, 2011

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

Debra Miller Stevens, Chair
Debra Miller Stevens, Chair

Attest: *John L. Schlegel*, Secretary
John L. Schlegel, Secretary



GOVERNING BODY CERTIFICATE

The dedications shown on this plat are hereby accepted and this plat is hereby approved by the governing body of the City of Wichita, Kansas.

Dated this 27th day of June, 2011

At the direction of the City Council.

Carl B. Weaver, Mayor
Carl B. Weaver, Mayor

Attest: *Yoni Edwards*, Deputy City Clerk
Yoni Edwards, Deputy City Clerk

TRANSFER RECORD

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Entered on transfer record this 16 day of June, 2011

Kelly B. Arnold, County Clerk
Kelly B. Arnold, County Clerk



REGISTER OF DEEDS CERTIFICATE

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This is to certify that this instrument was filed for record in the Register of Deeds office this day of June, 2011, at 10:21:38 AM, and is duly recorded.

Bill Meek, Register of Deeds
Bill Meek, Register of Deeds

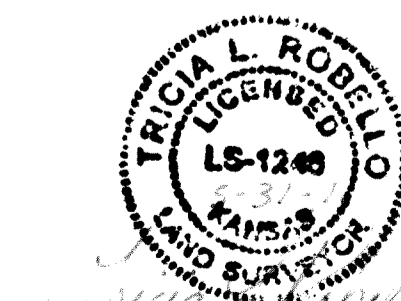
Attest: *Tonya E. Buckingham*, Deputy
Tonya E. Buckingham, Deputy

Sedgwick County Register of Deeds - Bill Meek
DOC #/FLM-PG: 29224194
Record #: 1785053
Page Recorded: 1
Casher Initials: MLH
Authorized By: *[Signature]*
Recording Fee: \$20.00
Date Recorded: 6/17/2011 10:21:38 AM

COUNTY SURVEYOR

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Reviewed in accordance with K.S.A. 58-2005 on this 15th day of May, 2011.



Tricia L. Robello, Deputy County Surveyor
Tricia L. Robello, LS #1246
Deputy County Surveyor
Sedgwick County, Kansas

MKEC
ENGINEERING CONSULTANTS, INC.
411 N. WEBB ROAD
WICHITA, KS. 67206
316-684-9600