

# GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
 Kansas One-Call 687-2470  
 The Contractor must notify the following in case of an emergency:  
 AT&T 1-800-246-8464  
 Black Hills Energy 1-800-694-8989  
 City of Wichita Water & Sewer 1-316-219-8921  
 City of Wichita Stormwater 1-316-268-4090  
 City of Wichita Traffic 1-316-268-4034  
 Cox Communications 1-888-249-3530  
 Kansas Gas Service 1-888-482-4950  
 Eergy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property adjoining the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades by the contractor.
- The Contractor shall notify the consultant engineer and Dawnita Reinhardt at 316-650-0740 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer at [traffic@wichita.gov](mailto:traffic@wichita.gov) before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions per City specifications.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top to the manhole.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractor's expense.
- All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor and until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMPs".
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.
- All of Kellogg Dr. R/W disturbed during construction shall be seeded and mulched as follows:  
 Seed --- Kansas Premium Fescue Blend; 8 lbs. PLS./1000 Sq. Ft.  
 Annual Rye grass; 3 lbs./1000 Sq. Ft.  
 Fertilizer --- 12-24-12 Ratio; 45 Lbs./Ac.  
 Mulch --- 2 Tons Prairie Hay/Ac.  
 All other areas disturbed during construction (except building pads) are to be seeded as follows:  
 Seed --- Rye grass; 5 lbs./1000 Sq. Ft.  
 All costs associated with seeding including mobilization, preparation of ground, seeding, fertilizing, mulching, etc. shall be included in the L.S. bid item "Seeding".  
 An additional bid item for "Seeding, Temporary" has been included and may be used at the discretion of the design engineer. Temporary seed shall be Annual Rye at 5 lbs./1000 Sq. Ft. unless otherwise noted and shall be planted when permanent seed or sod cannot be used due to seasonal limitations. If the "Seeding, Temporary" bid item is not used, 100% of the pay item will be deducted from the contract. All costs associated with temporary seeding including mobilization, preparation of ground, seeding, etc., shall be included in the L.S. bid item "Seeding, Temporary".
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.

## Benchmark:

BM #1: Square cut on top of curb inlet, approx. 24.5' west and 17.0' south of the southern most west property corner of Lot 1, Block A, Westport 3rd Addition, Wichita, Sedgwick County, KS  
 Elevation = 1323.00 (NAVD 88)

15" RCP = Wichita Concrete Pipe, 45.6' LF  
 Structure = Wichita Concrete Pipe

Field Work:  
 Date Begin: 10/09/23  
 Date End: 11/03/23

# AS-BUILT PLANS

## STORM SEWER IMPROVEMENTS to serve **ALL STATES EXTERIORS**

W. KELLOGG  
 CITY OF WICHITA, KANSAS

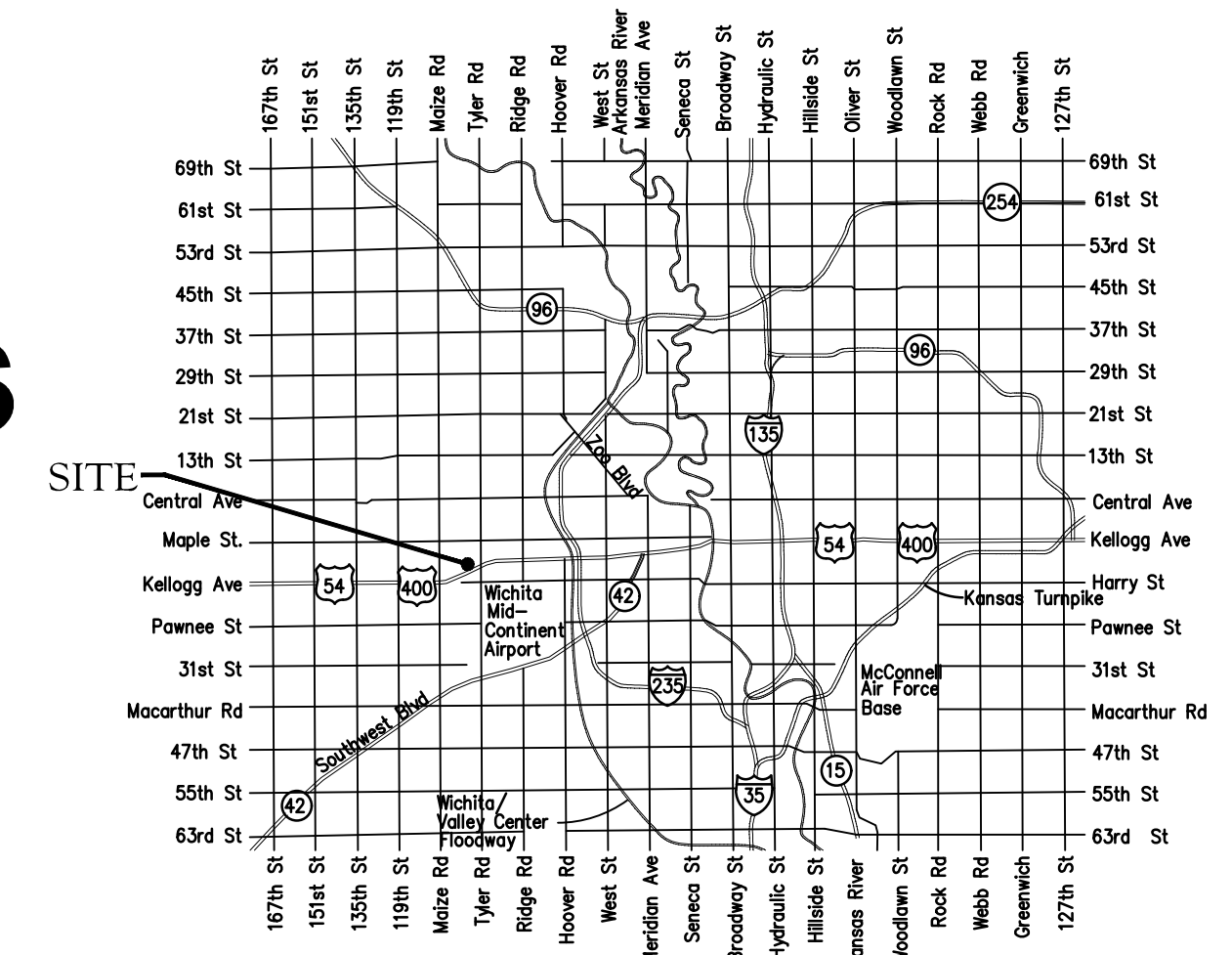
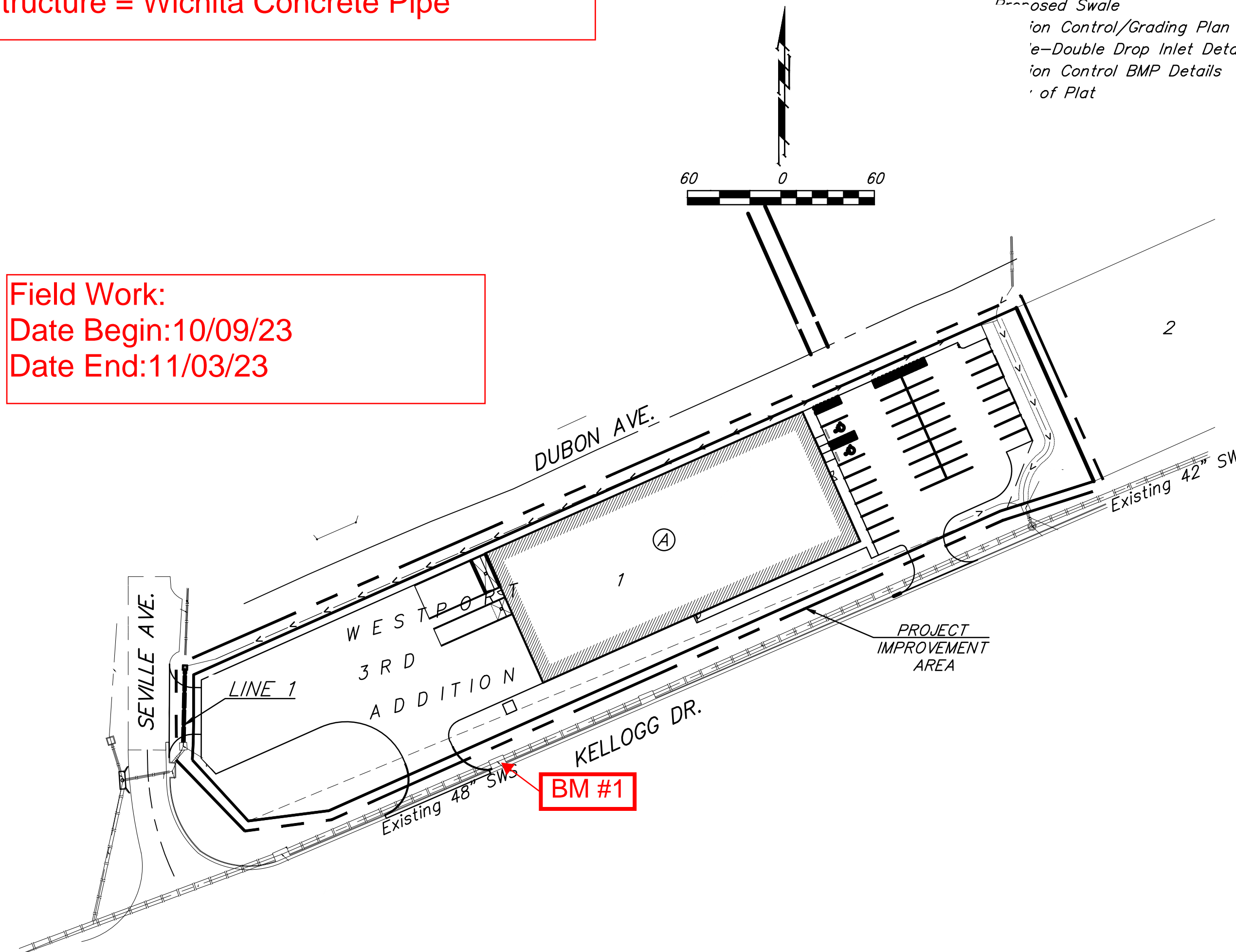
Gary Janzen, P.E. City Engineer  
 2022-000790PPD  
 56030970

Baughman Job #: 23-09-E622

Utility Contractor: Dutton Construction  
 Grading Contractor: Fremar Corp.  
 Inspector: Beau Gibler,  
 Baughman Company  
 As-Builts By: Beau G. / Larry Powell  
 11-03-2023

## Sheet Index

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Vicinity Map

**Stormwater Certification:**  
New Development or Redevelopment (Circle One)  
 Stormwater Permit # SWO 2023-0001  
 NOI Permit # S-AR94-1805 KSR121087

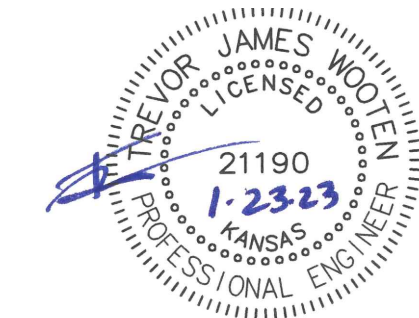
These construction plans were prepared in accordance with the current Stormwater management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

Site Area (Acres) = 1.56 Ac.  
 Disturbed Area (Acres) = 1.56 Ac.  
 Water Quality Treatment: Off Site BMP  
 Downstream Channel Protection: NA  
 Detention: NA - 10% Rule  
 The BMP used for this development is Off Site BMP

APPROVED AS NOTED  
 BY WICHITA PUBLIC WORKS ENGINEERING  
 AND STORMWATER DIVISION

Engineering Shawn Mellies 01/20/23  
 Stormwater Joseph Hickle 01/20/23

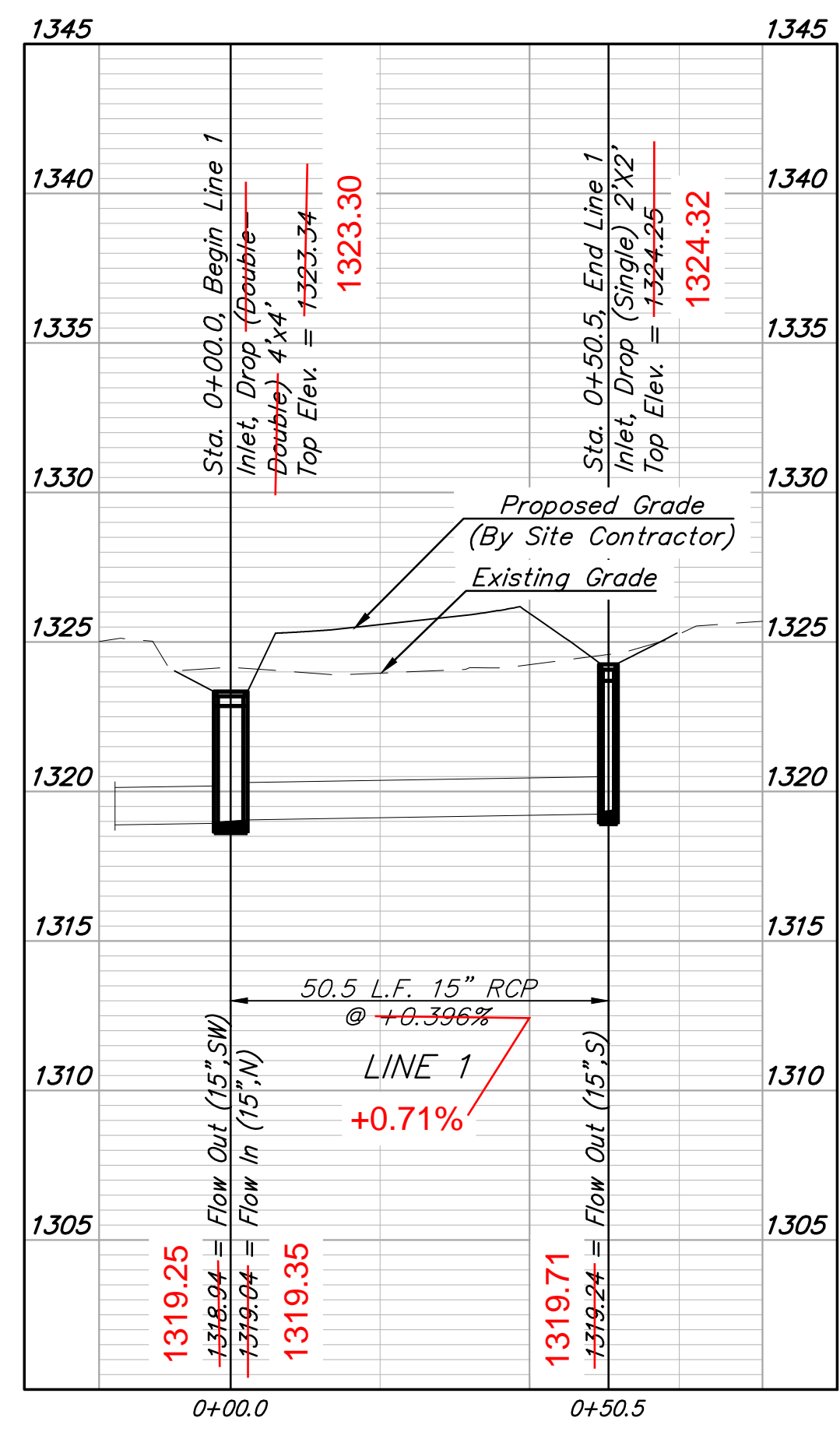
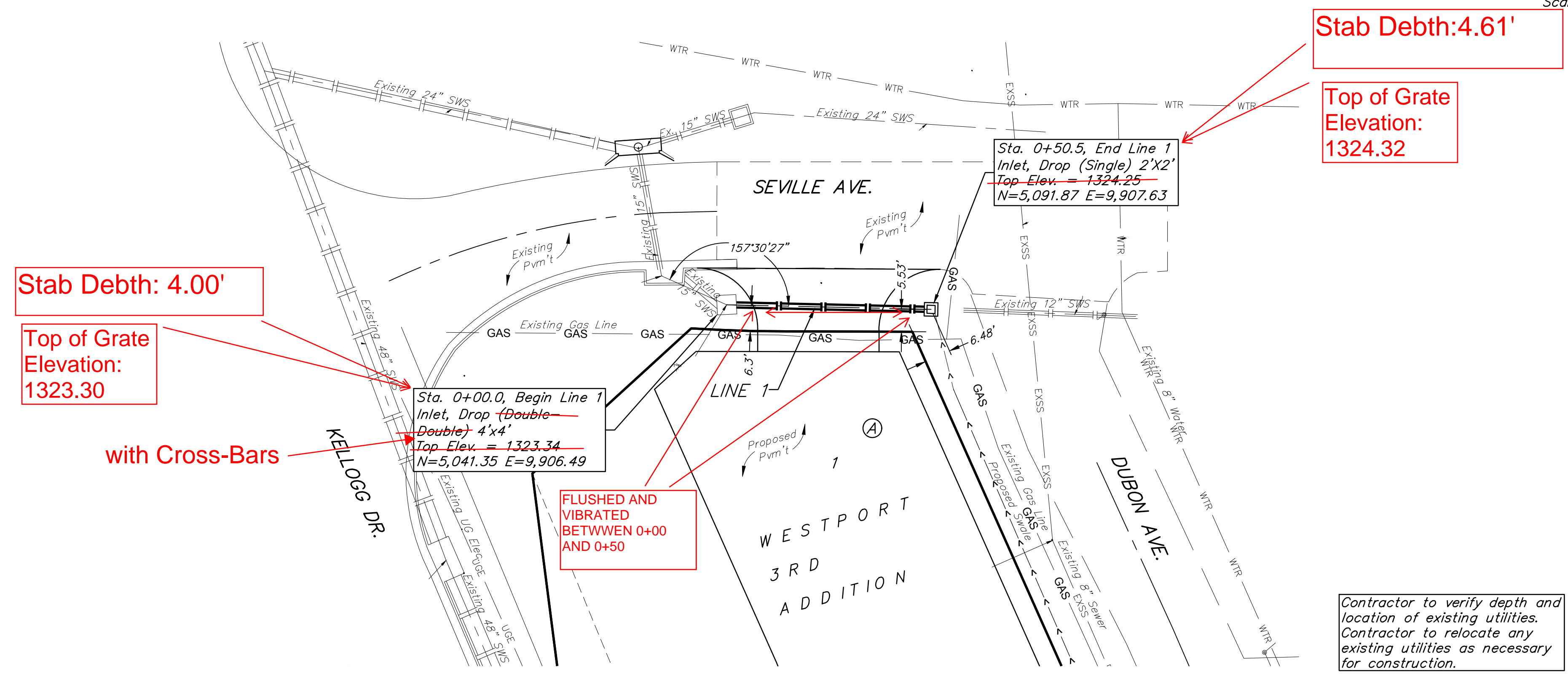
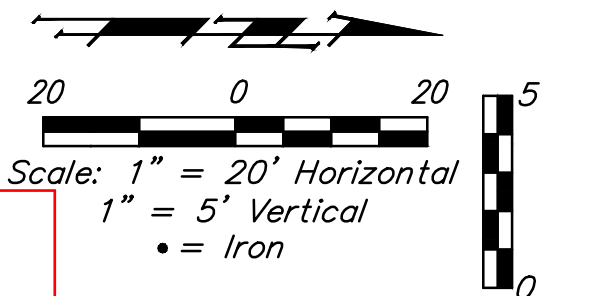
NOTE TO CONTRACTORS  
 Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions (on file and available at Wichita.gov).  
 An approved copy of these plans signed by City staff are required on-site.



January 25, 2023

**BAUGHMAN COMPANY**  
 315 Ellis St. Wichita, KS 67211 316-262-7271  
 BaughmanCo.com

**BENCHMARK:**  
 BM #1: Square cut on top of curb inlet, approx. 24.5' west and 17.0' south of the southern most west property corner of Lot 1, Block A, Westport 3rd Addition, Wichita, Sedgwick County, KS  
 Elevation = 1323.00 (NAVD 88)



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ALL STATES EXTERIORS

**LINE 1**

STORM WATER SEWER IMPROVEMENTS

PROJECT NUMBER: 22-08-E282

DESIGN: KH DRAWN: TMS

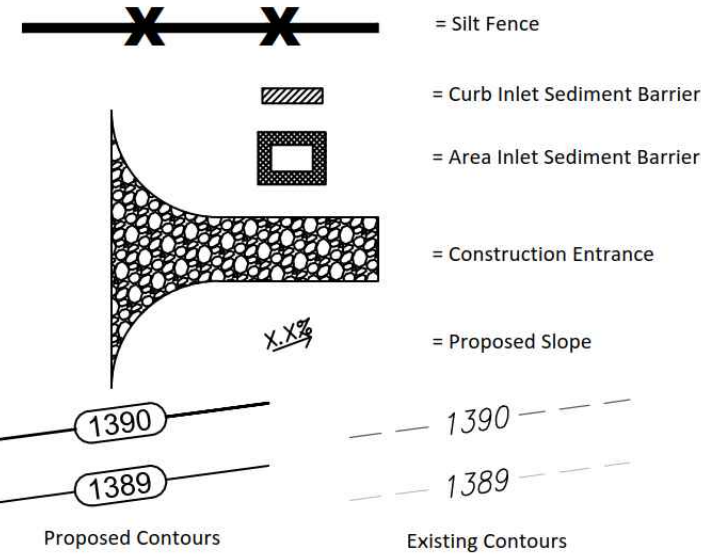
DATE: January 20, 2023

SHEET **2** OF **11**

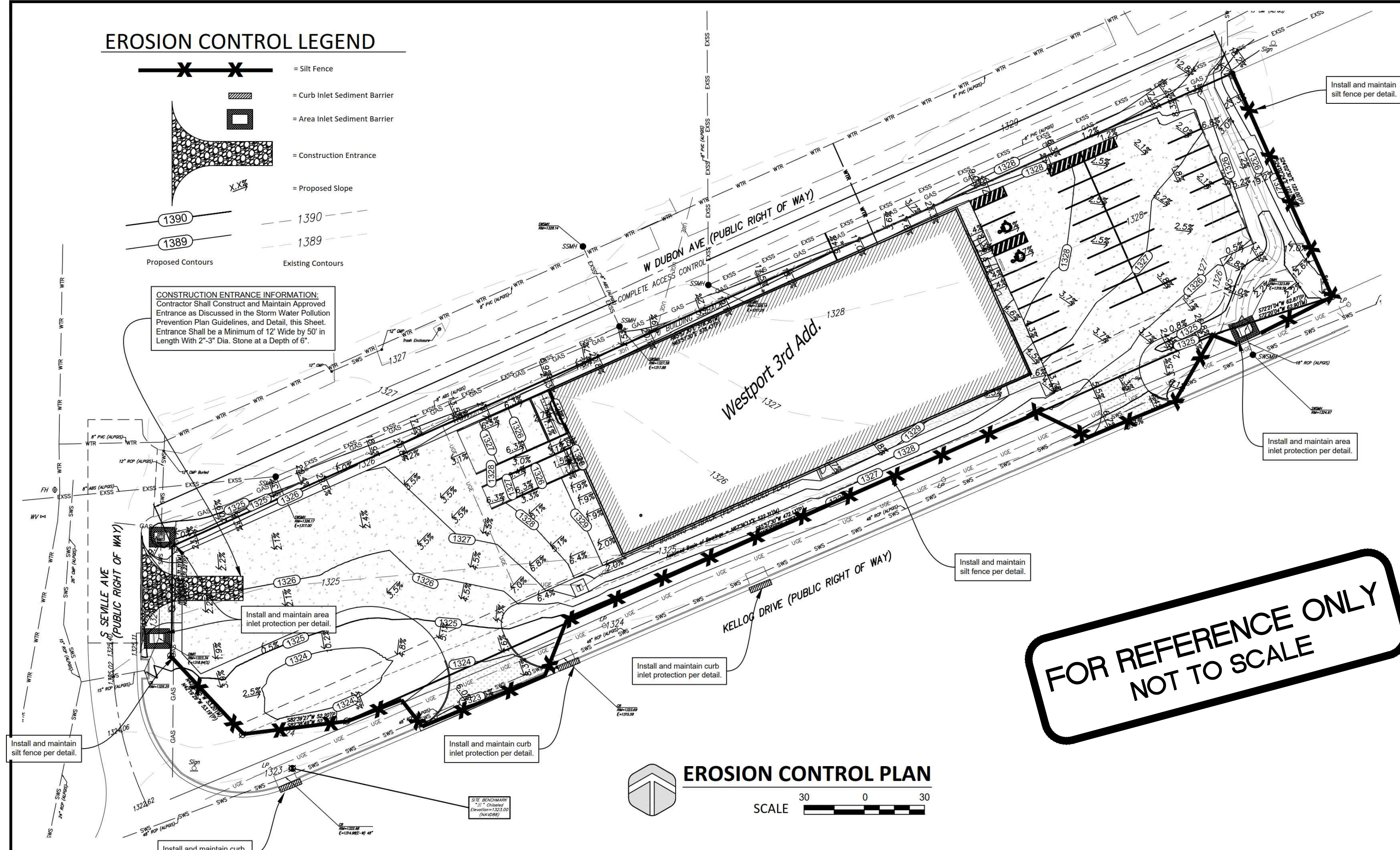
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# EROSION CONTROL LEGEND

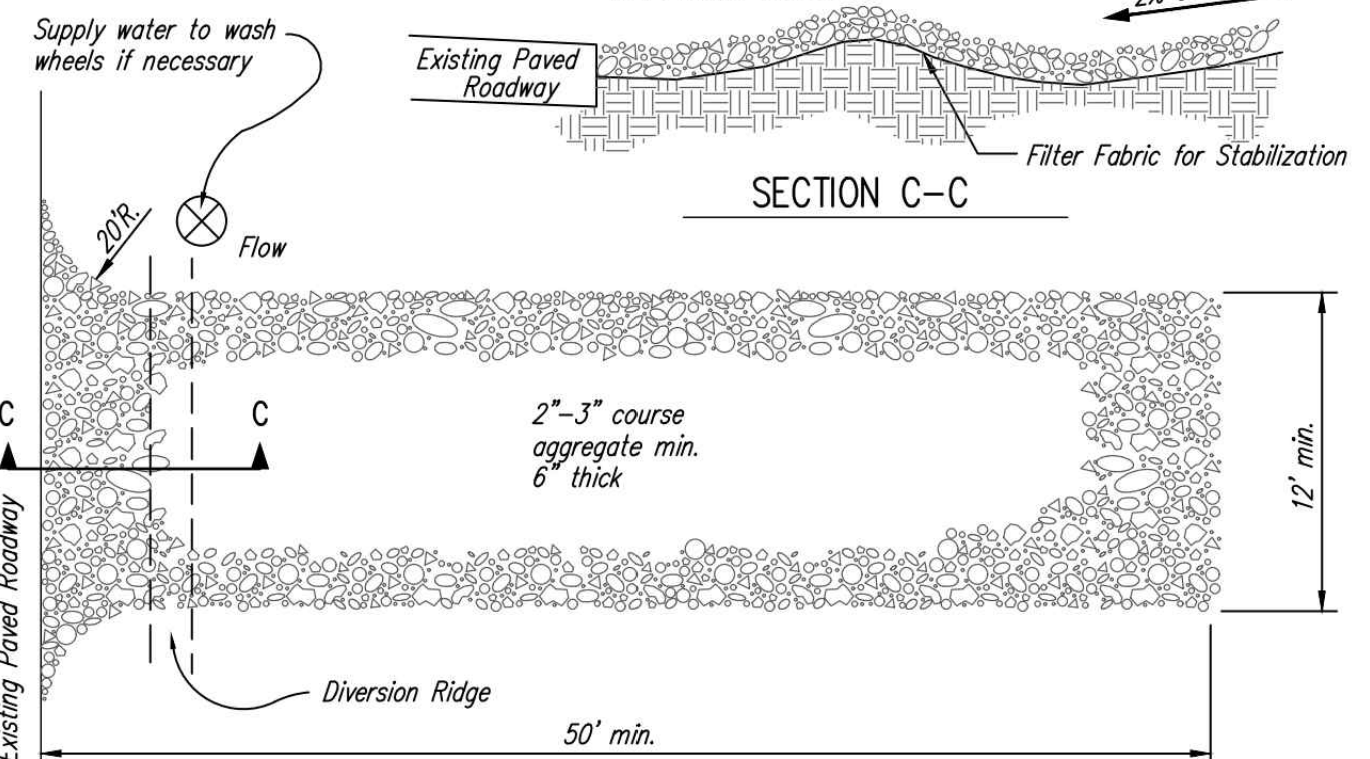


**CONSTRUCTION ENTRANCE INFORMATION:**  
 Contractor Shall Construct and Maintain Approved Entrance as Discussed in the Storm Water Pollution Prevention Plan Guidelines, and Detail, this Sheet. Entrance Shall be a Minimum of 12' Wide by 50' in Length With 2"-3" Dia. Stone at a Depth of 6".



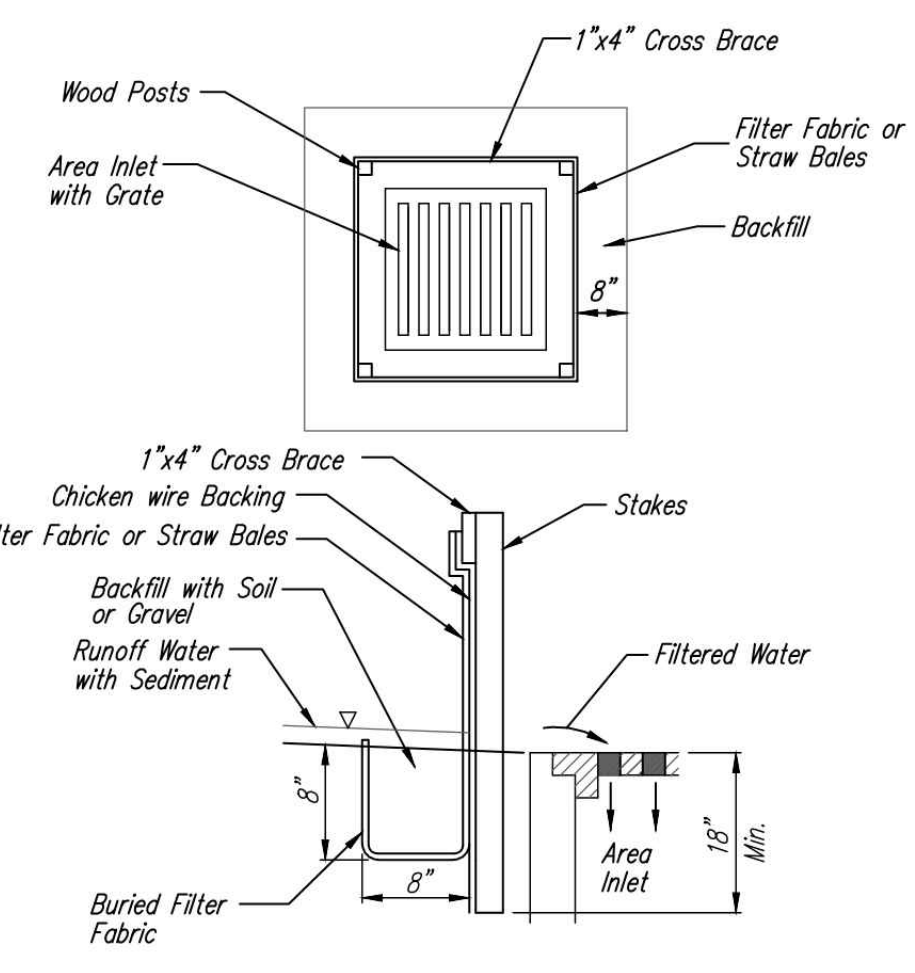
**FOR REFERENCE ONLY  
 NOT TO SCALE**

## EROSION CONTROL PLAN

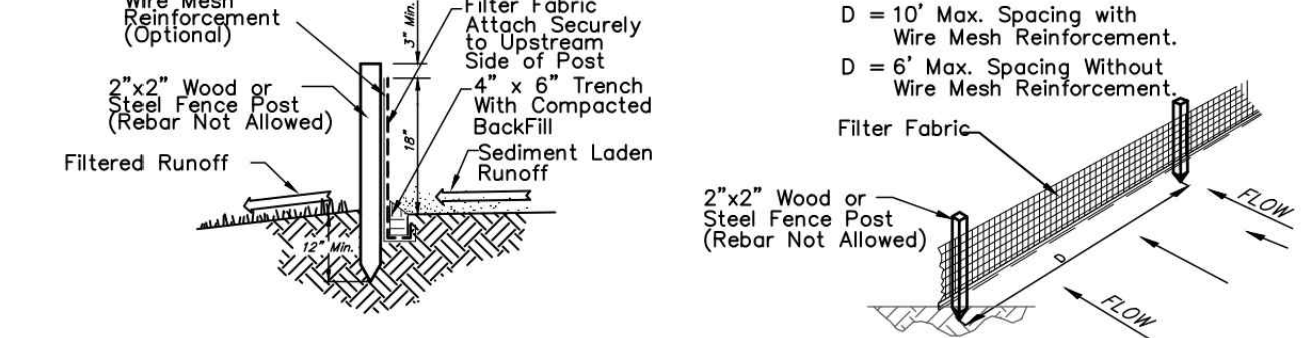


- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
  - DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

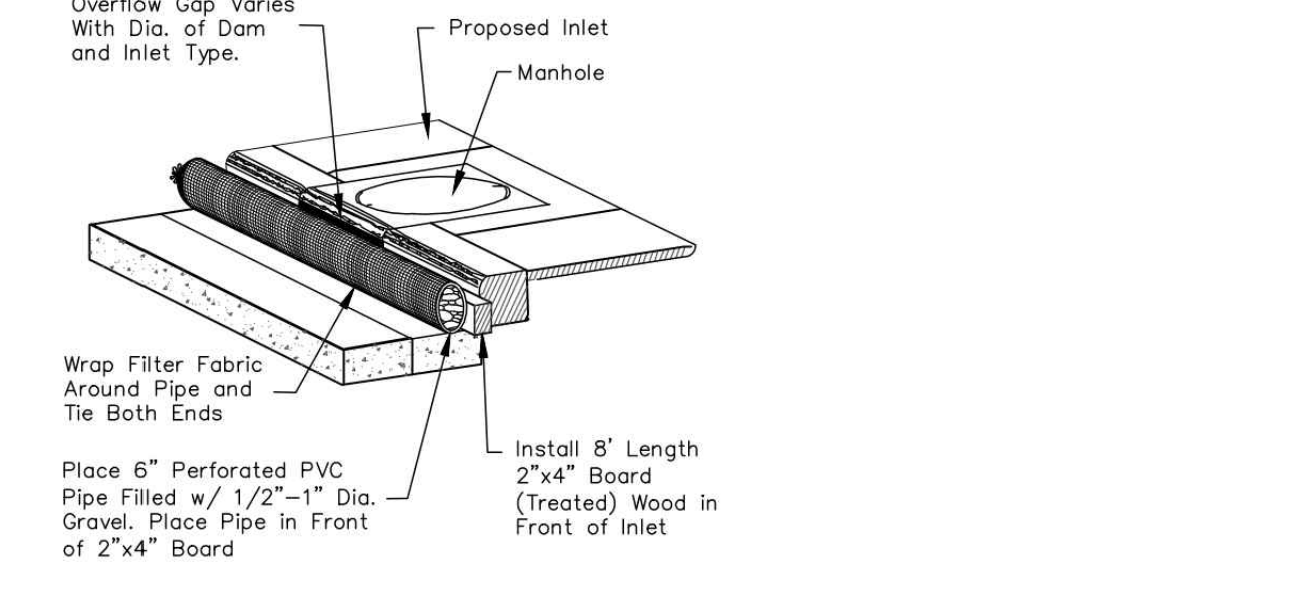
**1 STABILIZED CONSTRUCTION ENTRANCE**  
 NOT TO SCALE



**2 INLET PROTECTION FOR AREA INLETS**  
 (INLET PROTECTION: SILT FENCE OR STRAW BALES)



**3 SILT FENCE DETAIL**  
 NOT TO SCALE



**4 TYPE 1 INLET PROTECTION**  
 NOT TO SCALE

## LEGAL DESCRIPTION

Lot 1, Block A, Westport 3rd Addition

## SITE INFORMATION

Total Area:	±67,770.6 sq. ft. (1.56 acres)
Disturbed Area:	±67,770.6 sq. ft. (1.56 acres)
Impervious Area, pre-const:	±0 sq. ft. (0.00 acres)
Impervious Area, post-const:	±50,117.4 sq. ft. (1.15 acres)

## BENCHMARKS

**Site Benchmark - 1**  
 Square cut on top of curb inlet, approx. 24.5' west and 17.0' south of the southern most west property corner of Lot 1, Block A, Westport 3rd Addition, Wichita, Sedgwick County, KS  
 Elevation = 1279.96 (NAVD 88)

**Site Benchmark - 2**  
 "X" chiseled on top of curb  
 Elevation = 9XX.XX (NAVD 88)

## KANSAS ONE CALL

Contractor shall be required to provide notice to Kansas One Call at 287-2470 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.  
 Kansas One Call 1-800-DIG-SAFE

## UTILITY CONTACTS

The Contractor must notify the following in case of an emergency:

Kansas Gas Service (Gas)	1-888-482-4950
Black Hills Energy (Gas)	1-800-303-0357
Energy (Electric)	383-8650
Cox Communications (Telecommunication)	262-4270
AT&T (Telecommunication)	268-2759
City of Wichita Water Dept. (Water)	268-4563 or 268-4908
City of Wichita Sewer Maint. (San. Sewer)	268-4024 or 262-6000
City of Wichita Storm Sewer Maint. (Storm Sewer)	268-4090
City of Wichita Traffic Maint. (Traf. Control)	268-4034 or 268-4203
Conoco Pipeline Co. (Petroleum)	1-800-231-2551
Williams Pipeline Co. (Petroleum)	529-6600 or 1-800-324-9696
Phillips Pipeline Co. (Petroleum)	1-800-766-8230

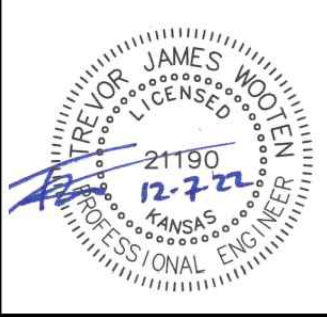
## EROSION CONTROL NOTES

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan, if applicable. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and per City and State specifications (See #11).
- All exposed areas shall be seeded as specified within 14 days of final grading. Seed to include straw mulch, crimped in place per industry standards.
- Should construction stop for longer than 14 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
- This Erosion Control Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- If site disturbance is over 1 acre, an NPDES Permit Application has been submitted for this property and a copy of this application must be kept at the job site for the duration of the construction process.



**BAUGHMAN COMPANY**

315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com



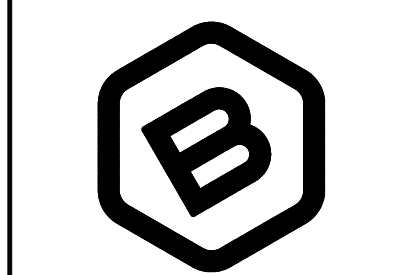
**ALL STATES EXTERIORS**  
 LOT 1, BLK. A, WESTPORT 3RD ADD.  
 WICHITA, KS

REVISION: DATE:

PROJECT NUMBER:  
 22-08-E282  
 DESIGN: TJW DRAWN: KMH  
 DATE: 12/07/2022

**EROSION CONTROL PLAN**

**C3.0**



**BAUGHMAN COMPANY**

315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com

ALL STATES EXTERIORS

**EROSION CONTROL PLAN**

STORM WATER SEWER IMPROVEMENTS

PROJECT NUMBER:  
 22-08-E282

DESIGN: KH DRAWN: TMS

DATE: January 20, 2023

SHEET **4** OF **11**

File: E:\Projects\Westport 3rd Lot 1 - All States Exteriors (22-08-E282)\Engineering\Phase 1\PPDPD.dwg

State of Kansas )  
County of Sedgwick ) ss

I, Bradley C. Ward, a registered land surveyor in aforesaid County and State, do hereby certify that this map or plat and the survey on which it is based was made in accordance with the Minimum Standards for Boundary Surveys.

Said survey is true and correct to the best of my knowledge. All monuments were either found or set.

LEGAL DESCRIPTIONS

Tract 1:  
Part of Lots 1, 2 and 3, Block H, Westport Addition to Wichita, Sedgwick County, Kansas, described as: Beginning at the Northeast corner of Lot 1, Block H, Westport Addition; thence bearing S 0°00'00" E, on the East line of said Lot, a distance of 125.92 feet; thence bearing S 65°57'30" West, parallel with and 115 feet South of the North line of said Block H, a distance of 396.48 feet to the East line of Lot 1, Block 2, Davis Moore 12th Addition to Wichita; thence bearing N 0°00'00" E, a distance of 125.92 feet, to the North line of Block H, Westport Addition; thence bearing N 65°57'30" E, on the North line of said Block H, a distance of 396.48 feet to the Point of Beginning. Said Tract contains 45,595 square feet, more or less.

Tract 2:  
Part of Lots 1, 2, 3, 4, 5 and 6, Block J, Westport Addition to Wichita, Sedgwick County, Kansas, described as: Beginning at the Northwest corner of Lot 6, Block J, Westport Addition; thence bearing N 65°57'30" E, on the North line of said Block J, a distance of 600.00 feet to the Northeast corner of Lot 1, Block J; thence bearing S 0°00'00" E, on the East line of said Lot 6, a distance of 133.59 feet; thence bearing S 65°57'30" W, parallel with and 122 feet South of the North line of said Block J, a distance of 600.00 feet to the West line of Lot 6, Block J; thence bearing N 0°00'00" E, on the West line of said Lot 6, a distance of 133.59 feet, to the Point of Beginning. Said tract contains 73,200 square feet, more or less.

Tract 3:  
Part of Lots 1, 2, 3, 4, 5 and 6, Block K, Westport Addition to Wichita, Sedgwick County, Kansas, described as: Beginning at the Northwest corner of Lot 6, Block K, Westport Addition; thence bearing N 65°57'30" E, on the North line of said Block K, a distance of 600.00 feet to the Northeast corner of Lot 1, Block K; thence bearing S 0°00'00" E, on the East line of said Lot 6, a distance of 136.87 feet; thence bearing S 65°57'30" W, parallel with and 125 feet South of the North line of said Block K, a distance of 600.00 feet to the West line of Lot 6, Block K; thence bearing N 0°00'00" E, on the West line of said Lot 6, a distance of 136.87 feet, to the Point of Beginning. Said tract contains 75,000 square feet, more or less.

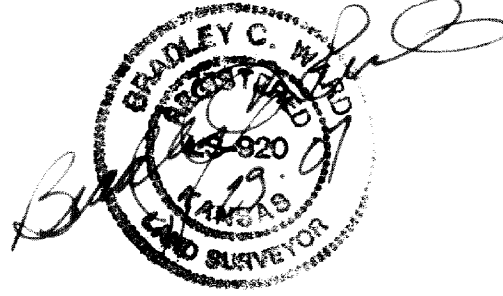
Tract 4:  
Part of Lot 1, Block 2, Davis Moore 12th Addition to Wichita, Sedgwick County, Kansas, described as: Beginning at the Northeast corner of said Lot 1; thence bearing S 0°00'00" E, on the East line of said Lot 1, a distance of 125.92 feet; thence bearing S 65°57'30" W, parallel with and 115 feet South of the North line of said Lot 1, a distance of 75.55 feet; thence bearing S 82°39'27" W, a distance of 52.20 feet; thence bearing N 42°19'29" W, a distance of 53.19 feet, to a point on a non-tangent curve to the left having a radius of 377.00 feet and a chord bearing N 01°46'19" E; thence on said curve, on the West line of said Lot 1, through a central angle of 3°32'33", an arc distance of 23.31 feet; thence bearing N 0°00'00" E, on the West line of said Lot 1, a distance of 31.22 feet to the Northwest corner of Lot 1; thence bearing N 65°57'30" E, on the North line of said Lot 1, a distance of 170.67 feet, to the Point of Beginning. Said tract contains 17,680 square feet, more or less.

Said Tracts 1, 2, 3 and 4 are subject to any easements and restrictions of record.

Tract 5:  
Beginning at the NE corner of Lot 1, Block J, Westport Addition, Sedgwick County, Kansas; thence bearing N 65°57'30" E, a distance of 65.69 feet, to the NW corner of Lot 6, Block K, Westport Addition; thence S 0°00'00" W, on the West line of said Lot 6, a distance of 136.87 feet; thence S 68°40'17" W, a distance of 64.41 feet, to a point on the East line of said Lot 1; thence N 0°00'00" E, on the East line of said Lot 1, a distance of 133.59 feet, to the Point of Beginning. Said tract contains 8,113 square feet, more or less.

Tract 6:  
Beginning at the NE corner of Lot 1, Block H, Westport Addition, Sedgwick County, Kansas; thence bearing N 65°57'30" E, a distance of 65.69 feet, to the NW corner of Lot 6, Block K, Westport Addition; thence S 0°00'00" W, on the West line of said Lot 6, a distance of 133.59 feet; thence S 72°22'58" W, a distance of 62.90 feet, to a point on the East line of said Lot 1; thence N 0°00'00" E, on the East line of said Lot 1, a distance of 125.92 feet, to the Point of Beginning. Said tract contains 7,777 square feet, more or less.

All easements and rights-of-way within said lots are hereby vacated by virtue of KSA 12-512(b) amended.



Bradley C. Ward, L.S. #920 date 11-29-07

WESTPORT 3RD ADDITION  
CITY OF WICHITA, SEDGWICK COUNTY, KANSAS

Part of the Southeast 1/4, Section 29, Township 27 South, Range 1 West of the 6th. P.M.

State of Kansas )  
County of Sedgwick ) ss

Know all men by these presents, that we, the undersigned, have caused the land described in the surveyor's certificate to be platted into Lots and Blocks to be known as Westport 3rd Addition, Wichita, Sedgwick County, Kansas. Any easements are hereby granted as indicated for constructing, maintaining, operating, and repairing public utilities. A Drainage Plan for this addition has been established, and can be obtained from the City of Wichita. Development of any lot will need to conform to this Drainage Plan or modify with the approval of the city or county engineer, to allow for the conveyance of stormwater. The land contained herein is held and shall be conveyed subject to any restrictions, reservations, and covenants on file or hereafter filed in the office of the Register of Deeds of Sedgwick County, Kansas.

Access control is hereby granted as follows:  
There shall be complete access control along Dubon Ave.

By: John E. Dugan, owner date  
Marilyn K. Dugan, owner date  
John E. Dugan, President date  
John E. Dugan Family Partnership, L.P.

State of Kansas )  
County of Sedgwick ) ss

This instrument was acknowledged before me on this 10th day of December 2007, by John E. Dugan, owner

Joanne Doris Swenland, Notary Public, State of Kansas, My Comm. Expires 6-18-09

State of Kansas )  
County of Sedgwick ) ss

This instrument was acknowledged before me on this 10th day of December 2007, by Marilyn K. Dugan, owner

Joanne Doris Swenland, Notary Public, State of Kansas, My Comm. Expires 6-18-09

State of Kansas )  
County of Sedgwick ) ss

This instrument was acknowledged before me on this 10th day of December 2007, John E. Dugan, President of John E. Dugan Family Partnership L.P.

Joanne Doris Swenland, Notary Public, State of Kansas, My Comm. Expires 6-18-09

State of Kansas )  
City of Wichita ) ss

This plat of Westport 3rd Addition, Wichita, Sedgwick County, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas. Dated this 10th day of December, 2006. Wichita-Sedgwick County Metropolitan Area Planning Commission

John L. Schlegel, Secretary  
State of Kansas )  
City of Wichita ) ss

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 8th day of JAN, 2008

At the Direction of the City Council  
Karen Sublette, City Clerk

Entered on transfer record this 17th day of January 2008  
Don Brace, County Clerk

State of Kansas )  
County of Sedgwick ) ss

This is to certify that this instrument was filed for record in the Register of Deeds Office, at 2:20 PM on the 17th day of January 2008, and is duly recorded.

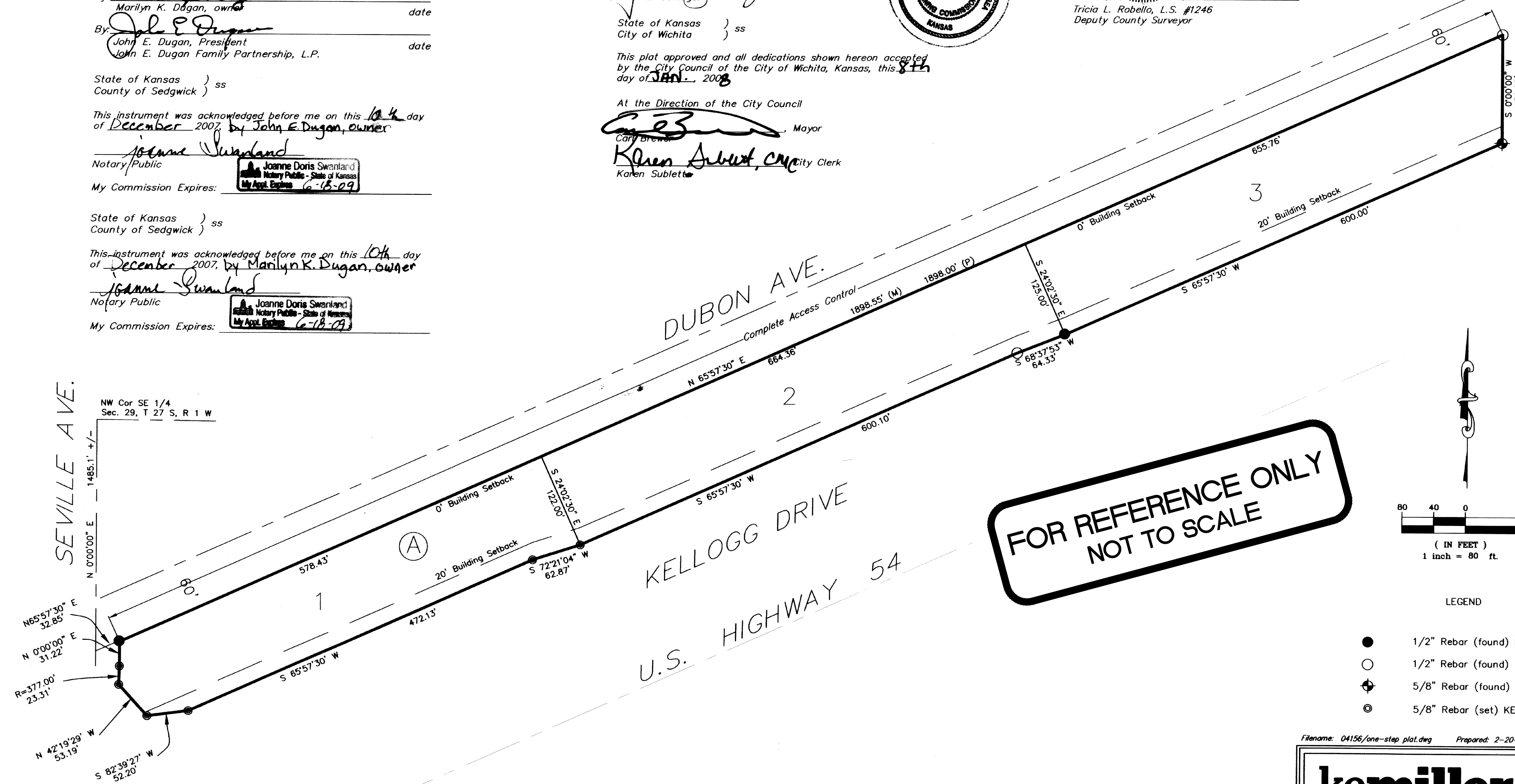
Bill Meek, Register of Deeds  
Tonya Buckingham, Deputy

Reviewed in accordance with K.S.A. 58-2005 on this 7th day of December 2007

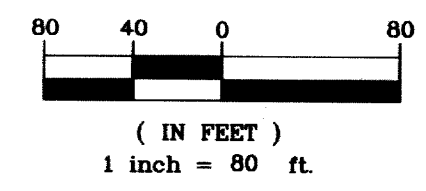
Tricia L. Robello, L.S. #1246, Deputy County Surveyor



BYRON RD.



FOR REFERENCE ONLY  
NOT TO SCALE



- LEGEND
● 1/2" Rebar (found) PEC LS #65
○ 1/2" Rebar (found)
⊕ 5/8" Rebar (found)
⊙ 5/8" Rebar (set) KEMPA CLS #157

kemiller engineering logo and contact info: 516 S. Market, Wichita, KS 67202 316/264-0242

BAUGHMAN COMPANY logo and contact info: 315 Ellis St. Wichita, KS 67211 316-262-7271 BaughmanCo.com